



South Carolina Commission on Higher Education

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Mr. Devron H. Edwards
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Mr. Richard A. Jones, Jr.
Mr. Kenneth W. Kirkland
Ms. Allison Dean Love
Dr. Louis B. Lynn
Vice Admiral Charles Munns, USN (ret.)
Mr. Kim F. Phillips
Ms. Terrye C. Seckinger

Mr. Jeffrey M. Schilz
Interim President and Executive Director

TO: Ms. Dianne Kuhl and Members of the Finance & Facilities Committee
FROM: Ms. Carrie Eberly, Fiscal Affairs Program Manager
SUBJECT: Committee Meeting, September 7, 2017
DATE: September 1, 2017

A meeting of the Finance & Facilities Committee is scheduled to **be held in the Commission's Main Conference Room at 10:00 a.m. on Thursday, September 7.** The agenda and materials for the meeting are enclosed.

***To access the Teleconference, enter: 800-503-2899; Access Code: 737-4620**

If you have any questions about the materials, please contact me at (803) 737-0259.

Enclosures

COMMITTEE ON FINANCE & FACILITIES
SEPTEMBER 7, 2017
10:00 A.M.
MAIN CONFERENCE ROOM
SOUTH CAROLINA COMMISSION ON HIGHER EDUCATION
1122 LADY STREET, SUITE 300
COLUMBIA, SC 29201

AGENDA

- 1. Introductions**
- 2. Approval of Minutes of August 3, 2017**
- 3. Chair's Report**
- 4. Interim Capital Projects**
 - A. Northeastern Technical College
 - Industrial Training Center Renovations & Expansion (Bennettsville & Pageland)
 - Revise Scope
 - B. Tri-County Technical College
 - Pendleton Campus Student Success Center/Central Plant
 - Change Source of Funds
 - C. Horry-Georgetown Technical College
 - Advanced Manufacturing Center Construction- Georgetown
 - Establish Construction Budget
- 5. USC Campus Village Informational Presentation**
(For Information, No Action Required)
- 6. Other Business**
 - A. 2017 CPIP Instructions *(For Information, No Action Required)*
 - B. List of Capital Projects & Leases Processed by Staff for August 2017
(For Information, No Action Required)
 - C. Other Business

MINUTES
COMMITTEE ON FINANCE AND FACILITIES
AUGUST 3, 2017
10:00 A.M.
MAIN CONFERENCE ROOM
SOUTH CAROLINA COMMISSION ON HIGHER EDUCATION
1122 LADY STREET, SUITE 300
COLUMBIA, SC 29201

Committee Members Present

Commissioner Dianne Kuhl, Chair
Commissioner Paul Batson
Commissioner Ken Kirkland
Commissioner Kim Phillips
Commissioner Louis Lynn

Mr. Yancey Modesto
Mr. Steve Osborne
Ms. Carol Routh
Mr. Jeff Stensland
Mr. Ray Switzer
Dr. Kyle Wagner
Mr. Avery Wilks
Ms. Helen Zeigler

Guests Present

Chairman Tim Hofferth
Commissioner Charles Munns
Commissioner Terrye Seckinger
Mr. Billy Boan
Dr. Ben Dillard
Ms. Margaret Jordan
Mr. Rick Kelly
Mr. Doug Lange

Staff Present

Ms. Lisa Collins
Ms. Carrie Eberly
Dr. Rao Korrapati
Ms. Yolanda Myers
Mr. Morgan O'Donnell
Ms. Katie Philpott

For the record, notification of the meeting was made to the public as required by the Freedom of Information Act.

1. Call to Order

Commissioner Kuhl called the meeting to order at 10:05 a.m. Ms. Myers introduced guests in attendance.

The following matters were considered:

2. Approval of Minutes of June 1, 2017

With no questions or corrections, a motion was made (Lynn), seconded (Phillips), and carried to approve the minutes of the June 1, 2017 meeting.

3. Chair's Report

Commissioner Kuhl advised the committee that Clemson University had exercised their opportunity to bring the Tennis Center Construction Project for appeal, and would be heard before the full Commission later in the afternoon.

4. Interim Capital Projects

A. Florence Darlington Technical College

1. Master Plan – Academic and Workforce Development Building Construction
-Establish Construction Budget

Ms. Eberly presented Florence Darlington Technical College's Phase II request for their 80,000-square-foot Academic and Workforce Development Building. The construction budget is estimated to be \$30.75M and the project will include a library, media center, student services, and additional classroom space. As part of this project, Buildings 100 and 400 are planned to be demolished. Both of these buildings and most of the units are over 40-years-old and built for an enrollment of about 2,000 students. The College's enrollment is now about five times that number. After demolition of the two buildings, the College will have a net increase of 38,500-square-feet of space.

The funding for this project includes 51% cash equity investment from a combination of sources, including local and state funds. Specifically, the state has \$6.5M invested through state appropriations and capital reserve funds. The remaining budget will be funded through a USDA loan which will be repaid over a period of forty years in monthly installments of \$51,600 at an interest rate of 2.75%, which translates into an annual amount of \$624,506. There is a student fee of \$270 per semester associated with the construction of this project. Based on staff review, this fee appears to be sufficient to service existing debt of \$16.5M, as well as this additional issuance. This project was pulled from the June agenda due to JBRC's concerns that the property could be used as a lien for the loan. Since that time, the College had worked with the USDA and JBRC to resolve those issues and update their agreement with the USDA.

Commissioner Batson wanted to let the Committee know that he had visited the College to meet with Mr. Roach and Dr. Dillard, and stated that the buildings in question are sorely in need of replacement, and that this is a great project.

With no further discussion, it was moved (Batson), seconded (Lynn), and voted to approve the Florence Darlington Technical College project as proposed.

B. Spartanburg Community College

1. Cherokee Advanced Technology Center Construction
-Change Source of Funds, Decrease Budget

Ms. Eberly presented Spartanburg Community College's Center for Advancement Manufacturing and Industrial Technologies. She noted that the service area of Spartanburg Community College includes Spartanburg, Cherokee and Union counties. The College was awarded two federal grants in the fall of 2014 after CHE approved Phase II for construction. The awards totaled \$1.6M, of which \$1.5M has been used for this project. This request is to change the source of funds, add the federal grants, and also decrease the budget. The project has been completed and classes have been held in the building beginning with fall 2015 semester. It was noted that the College did not acquire any debt with this project. Subsequent to the completion, the Cherokee County School system made a decision to locate its technology center adjacent to this project which has created a seamless transition between high school and higher education. Ms. Eberly also noted that the building is a showpiece for the County, as it is used by the County for economic development. Commissioner Kuhl then asked for a motion to approve this project.

With no further discussion, it was moved (Kirkland), seconded (Phillips), and voted to approve the Spartanburg Community College project as proposed.

C. College of Charleston

1. Avery Envelope Renovation and Mechanical System Replacement -Increase Construction Budget

Ms. Eberly presented the College of Charleston's request for a budget increase of \$715,978 for the Avery Envelope Renovation and Mechanical System Replacement project. Previously, the Commission approved the construction budget at \$1,551,977 in June 2016. Phase I was approved in February 2016, allowing the College to contract with an A&E firm to produce deliverables that are required for Phase II. Two of the deliverables were the schematic design and the construction cost estimate. She noted that when the College requested Phase II approval, it included a budget increase of \$292,677. Between June 2016 and April 2017, the College produced the Phase II documents, worked with the Office of State Engineer, and put the construction contract out to bid. The bids were not in line with construction estimate, causing the College to seek additional approval to increase the Phase II budget to address the concerns of the higher construction bids.

Commissioner Lynn asked who was at fault for the construction budget being underestimated by 35%. Mr. Osborne, with the College of Charleston, stated that the architectural firm underestimated, and the Office of State Engineer recently issued guidance for the Charleston area that agencies can expect higher costs and fewer companies bidding. The College had five companies come to the preconference bid, but only two ultimately bid. One firm bid 35% over the budget, which was \$433K over, and the other was \$700K over. Commissioner Lynn asked which construction method would be used, and Mr. Osborne stated that the project would be put out to bid again with the design-bid-build method. He noted that the first time the College went through the process they limited it to mechanical construction companies, but now the field will be open to both mechanical contractors and general contractors, partially due to the decision to replace all the windows. Previously, the College was only going to replace some of the damaged windows, and repair others, but after further assessment it was determined to be better to replace all of the windows at the same time. The College would have gotten five year warranties for repairs but would receive a fifteen-year warranty by replacing them. The change accounts for \$130K of the proposed budget increase.

Commissioner Lynn reiterated that 35% over budget was a big miss. Mr. Osborne stated that he was not pleased that the bids came in that high over budget. Commissioner Batson asked if the new budget adequately covered the concerns of the current condition of the Charleston area construction market. Mr. Osborne stated that the new estimate reflects the current market condition. Commissioner Lynn asked if there was any contingency included in the proposed budget. Mr. Osborne stated that there was. Commissioner Kuhl stated that the College originally requested an additional \$300K in Phase II, and now the College is requesting an additional \$700K. Mr. Osborne stated that when the College proposed Phase II originally, the budget was \$1.5M, and that the total budget will now increase to \$2.2M. Commissioner Kuhl stated that it was her understanding that the reasoning behind the budget request was to accommodate the construction bids coming in higher than anticipated, and requested clarification as to why the College was requesting over \$700K. Mr. Osborne stated that other pieces affecting the budget increase include project delay escalations, additional A&E fees, and the replacement of windows. Commissioner Kuhl asked if the College could share with the Committee why the project took so long to go out to bid. Mr. Osborne stated that the typical A&E process takes at least 3-4 months. The College added several months to this project due to

two factors: the building is an historical structure, which involves unusual code requirements, and the building is in a flood zone, which requires different specifications within the architectural design. The College went before the Office of State Engineer at three different points and each of those points added time to the process.

With no further discussion, it was moved (Phillips), seconded (Kirkland), and voted to approve the College of Charleston project as proposed.

2. City Bistro Interior Renovation -Establish Project

Ms. Eberly presented the project to establish an interior renovation to College of Charleston's City Bistro in the Joe E. Berry Residence Hall. The request is to establish the project with \$32,581, which is 1.5% of the current internal estimate of \$2,172,000. She noted that the City Bistro is one of the most used dining options on campus and is located within 5-10 minutes of residence halls and academic buildings. This project was not on the previous CIP. The dining facility is original to the residence hall which is 183,204-gross-square-foot and was constructed in 1989. Since 1989, the dining area has undergone two major renovations as student demands have changed and residence hall concentration has increased. Commissioner Lynn asked whether the College considered the increased construction costs in the Charleston area when preparing the budget estimate, considering the College's previous project request. Ms. Eberly stated that staff posed that question to the College, and the College had incorporated the escalated costs of the current market condition into their projected budget. Commissioner Lynn asked about the delivery method and Mr. Osborne stated that this would also be a design-bid-build.

Commissioner Kirkland stated that the audited reports he reviewed are impressive, and noted the College was managing their revenue and expense lines to produce a net profit. Commissioner Lynn asked if the food service was an internal operation, and Mr. Osborne responded that the food service is contracted out to Aramark. Commissioner Lynn asked if there would be a private piece in this project. Mr. Osborne explained that there is an allowance for capital projects as part of the contract, and that part of the allowance would be covering this project. He also noted that the allowance is provided up front to the College, and then comes off the food service profit statement. Commissioner Batson requested clarification on the Intradepartmental Expense line item on the Revenue and Expense statement provided. Mr. Osborne responded that he would get the details regarding this line item and share the response with the Commission. Commissioner Lynn asked about the contract length with Aramark, and Mr. Osborne stated that the College is in the 2nd year of a 7-year contract.

With no further discussion, it was moved (Lynn), seconded (Batson), and voted to approve the College of Charleston project as proposed.

3. Sottile Theatre Stage Renovation -Establish Project

Ms. Eberly presented the Sottile Theatre project, noting the project will renovate the stage and backstage areas. The College is requesting to establish the project with \$94,194, which is above the 1.5% guideline. She noted that the College will consult with both A&E and theatrical professionals during the Phase I process to produce a reliable cost estimate for Phase II. The internal projected cost is currently \$4,709,700. The source of funds for Phase I is Institutional Capital Project Funds, which are excess debt service revenues that the College collects through

student tuition. The project was approved by the Board of Trustees on June 6, 2017. The project was not on previous CPIPs, as the College originally planned to break this project up into smaller projects under the \$1M threshold, which they have the authority to establish themselves. As the College started looking at all of the smaller projects, they decided that it would be more beneficial to everyone involved to go ahead and establish a PIP for this project.

Mr. Osborne noted that the College is scheduled to receive a \$1.5M grant from the Spaulding-Paolozzi Foundation toward the cost of this project. Commissioner Lynn asked for clarification regarding the fund balance and utilization of ICPF previously mentioned as the current source of this project. Mr. Osborne stated that these are excess funds that are collected from the Capital Improvement Fee charged to students. A portion of the fee is used to retire debt, and the amount collected above annual debt service is used for cash funding of projects such as this one.

With no further discussion, it was moved (Kirkland), seconded (Phillips), and voted to approve the College of Charleston project as proposed.

Commissioner Kuhl then shared with the Committee that Mr. Osborne is retiring as the College of Charleston's CFO, and thanked him for his many years of service and his excellent working relationship with the Commission. He will be missed.

5. Other Business

A. Unfinished Business

Commissioner Kuhl stated that there was one item of unfinished business. The Committee did not complete the vetting of the University of South Carolina's request to purchase the SCANA property that was tabled at the June meeting. She noted that before the Committee could have any discussion on the project, that it needed to be removed from the table. It was moved (Lynn), seconded (Phillips), and voted to remove the project from the table.

Commissioner Kuhl stated that due to the time sensitive nature of this project, and the risk that the University could lose their earnest money in October, the project needed to move forward to JBRC with either a positive or negative recommendation. She suggested that the Committee proceed with advancing the project to the full Commission for discussion. Commissioner Lynn asked if the information shared was the same as presented in the prior month. Commissioner Kuhl stated that the information was the same.

It was moved (Lynn), seconded (Kirkland), and voted to advance the project to the Commission.

B. Office of the State Engineer Overview

Ms. Eberly introduced Ms. Margaret Jordan from the Office of State Engineer. Ms. Jordan gave an overview of the Office of State Engineer's role in capital projects and their approval process, construction costs, and the causes for rising costs on construction in certain areas of the state. Ms. Jordan described how documents are provided to the Office of State Engineer at the schematic stage and during construction design. She noted that the Office of State Engineer serves as the procurement official, and that all bids for services are initiated by their office. Architectural staff is available to work with agencies to do table top reviews to ensure progress on the project. As the building official for state property, part of the Office's responsibility is to ensure that all documents are complete, meet building code and procurement requirements, prior to bidding for services and issuing a building permit. The interaction between the local

zoning officials and state officials was discussed. Ms. Jordan welcomed the opportunity to work more closely with Commission staff to ensure a smoother process for colleges and universities working their way through the approval and construction process.

C. List of Capital Projects & Leases Processed by Staff for June and July 2017

Ms. Eberly presented the staff projects that were approved for the months of June and July. There were several projects closed.

Commissioner Kuhl asked if there was any update on the CPIP process for this year. Ms. Eberly stated that all of the Colleges and Universities' CPIP submissions had been received. She noted the State Tech Board recently approved the Technical Colleges' Year One and Year Two projects. CHE staff is in the process of compiling the responses, and CHE is tasked with ranking all of the projects in priority order. Commissioner Kuhl asked if the priority order is by sector or university, and asked if any clarification had been provided regarding the Commission's task. Ms. Eberly stated that no additional information had been provided at this time, but referenced the statute that states the Commission should provide a priority list. Ms. Eberly shared that staff would propose several options based on a previously approved rating system. Commissioner Kuhl asked if there was a completion deadline. Ms. Eberly stated that there is no deadline stated in statute or proviso.

There being no further business, Commissioner Kuhl adjourned the meeting at 11:33 a.m.

Respectfully submitted,

Morgan O'Donnell
Recorder

**Attachments are not included in this mailing but will be filed with the permanent record of these minutes and are available for review upon request.*

DESCRIPTION OF INTERIM CAPITAL PROJECTS FOR CONSIDERATION

September 7, 2017

NORTHEASTERN TECHNICAL COLLEGE

PROJECT NAME: Industrial Training Center Renovations and Expansion
(Bennettsville & Pageland)

REQUESTED ACTION: Revise Scope

REQUESTED ACTION AMOUNT: \$0.00

INITIAL CHE RECOMMENDATION DATE: March 3, 2016 (Phase II)

<u>Project Budget</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Professional Service Fees	\$22,500	\$152,500	\$175,000
Site Development	\$15,050	(\$15,050)	\$0
New Construction	\$527,500	\$87,963	\$615,463
Renovations – Building Interior	\$1,151,255	\$(41,718)	\$1,109,537
Roofing	\$109,600	\$(109,600)	\$0
Renovations – Building Exterior	\$64,095	\$(64,095)	\$0
Landscaping	\$10,000	\$(10,000)	\$0
<i>Total</i>	<i>\$1,900,000</i>	<i>\$0</i>	<i>\$1,900,000</i>

<u>Source of Funds</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Capital Reserve Fund	\$1,500,000	\$0	\$1,500,000
Local Funds	\$400,000	\$0	\$400,000
<i>Total</i>	<i>\$1,900,000</i>	<i>\$0</i>	<i>\$1,900,000</i>

DESCRIPTION:

This project is comprised of construction of a new facility at NETC's Pageland campus to house training equipment, which is complete, and renovations of a local building to convert the square footage into a manufacturing training facility. The College requests to change the scope of the project by changing the location of the renovation and increasing the square footage from the originally approved facility to a more cost-effective facility. The original location of the renovation was a former elementary school and included 9,228 SF to be up-fitted. After review of the bid and extensive work identified as needing to be done, the College investigated two additional sites. The new proposed site, a former 45,000 SF Winn-Dixie building owned by Marlboro County, is being donated to the College's Foundation. The donation will be finalized in October after the 3rd reading of the ordinance. The College will then lease the facility from the Foundation. At this time, approximately 14,000 SF will be reconfigured to include instructional lab classrooms, distance learning classrooms, welding lab, office and storage space. The remaining square footage will be shell space to accommodate future programmatic growth and the expansion of existing programs. In addition, the new location provides adequate parking for students and staff. The building has reduced seismic up-fitting concerns, an open floor-plan, and loading areas, which allows the College to renovate 51% additional square footage with the same amount of money. The current balance available for the renovation is \$1,152,163.97, which is adequate to support the cost estimate included in the attached materials of \$1,132,290.

The change in location is supported by NETC's legislative delegation, and Proviso 25.9 of the 2017-18 Appropriations Act authorizes the College to carryover the unexpended funds for an alternate facility provided that the facility's use and purpose is similar and more cost effective. The State Engineer's Office has reviewed the new space and will proceed with the bid process once all approvals are received.

E&G MAINTENANCE NEEDS:

N/A – Renovation of Donated Facility

ANNUAL OPERATING COSTS/SAVINGS:

\$33,500/Year to include utilities, operations and maintenance, and supplies.

FOR DEPARTMENT USE ONLY	
CHE	_____
JBRC	_____
SFAA	_____
JBRC Staff	_____
ADMIN Staff	_____
A-1 Form Mailed	_____
SPIRS Date	_____
Summary	_____

(For Department Use Only)
SUMMARY NUMBER
FORM NUMBER

PERMANENT IMPROVEMENT PROJECT REQUEST

1. AGENCY
 Code H59 Name Northeastern Technical College
 Contact Person Debbie Cheek Phone 843-921-6945

2. PROJECT
 Project # 6114 Name Industrial Training Center Renovations & Expansion (Bennettsville & Pageland)
 Facility # _____ Facility Name _____

County Code	35 - Marlboro
New/Revised Budget	

Project Type	3 - Repair/Renovate Existing Facilities/Systems
Facility Type	2 - Program/Academic

3. CPIP PROJECT APPROVAL FOR CURRENT FISCAL YEAR
 CPIP priority number _____ of _____ for FY _____

4. PROJECT ACTION PROPOSED (Indicate all requested actions by checking the appropriate boxes.)

Establish Project	<input type="checkbox"/>	Decrease Budget	<input type="checkbox"/>	Close Project	<input type="checkbox"/>
Establish Project - CPIP	<input type="checkbox"/>	Change Source of Funds	<input type="checkbox"/>	Change Project Name	<input type="checkbox"/>
Increase Budget	<input type="checkbox"/>	Revise Scope	<input checked="" type="checkbox"/>	Cancel Project	<input type="checkbox"/>

5. PROJECT DESCRIPTION AND JUSTIFICATION
 (Explain and justify the project or revision, including what it is, why it is needed, and any alternatives considered. Attach supporting documentation/maps to fully convey the need for the request.)

This project included new construction at NETC's Pageland campus and renovations to a facility in Bennettsville. The Pageland construction is complete.
 The Bennettsville project was originally approved for a facility (former Elementary school renovating 9,228 sq. ft.) previously used by the Marlboro County School District. However, Proviso 25.9, effective July 1, 2017, allows the college to move the funds allocated for the previous facility to a more cost-effective alternative facility, which the college has identified (former Winn-Dixie building renovating 14,000 sq. ft.). Please see the attached documentation indicating the local delegation's support for this transition to the alternate facility. Also attached is documentation from the architect indicating the cost-effectiveness of the alternate facility.

6. OPERATING COSTS IMPLICATIONS
 Attach Form A-49 if any additional operating costs or savings will result from this request. This includes costs to be absorbed with current funding.

7. ESTIMATED PROJECT SCHEDULE AND EXPENDITURES
 Estimated Start Date: December 2017 Estimated Completion Date: June 2018
 Estimated Expenditures: Thru Current FY: \$846,808.72 After Current FY: \$1,053,191.28

8. ESTIMATES OF NEW/REVISED PROJECT COSTS

PROJECT #	6114
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- 1. _____ Land Purchase ---->
- 2. _____ Building Purchase ---->
- 3. 175,000.00 Professional Services Fees
- 4. _____ Equipment and/or Materials ---->
- 5. _____ Site Development
- 6. 615,463.00 New Construction ---->
- 7. 1,109,537.00 Renovations - Building Interior ---->
- 8. _____ Renovations - Utilities
- 9. _____ Roofing - _____ Roof Age
- 10. _____ Renovations - Building Exterior
- 11. _____ Other Permanent Improvements
- 12. _____ Landscaping
- 13. _____ Builders Risk Insurance
- 14. _____ Other Capital Outlay
- 15. _____ Labor Costs
- 16. _____ Bond Issue Costs
- 17. _____ Other: _____
- 18. _____ Contingency

Land: _____ Acres
 Floor Space: _____ Gross Square Feet
 Information Technology _____
 Floor Space: 9,800 Gross Square Feet
 Floor Space: 14,000 Gross Square Feet

ENVIRONMENTAL HAZARDS	
Identify all types of significant environmental hazards (including asbestos, PCB's, etc.,) present in the project and the financial impact they will have on the project. Type: _____	
<u>Cost Breakdown</u>	
Design Services	\$ _____
Monitoring	\$ _____
Abate/Remed	\$ _____
Total Costs	<u>\$ 0.00</u>

\$1,900,000.00 TOTAL PROJECT BUDGET

9. PROPOSED SOURCE OF FUNDING

Source	Previously Approved Amount	Increase/Decrease	Original/Revised Budget	Transfer to/from Proj. #	Rev Object Code	Treasurer's ID Number	Rev Sub Fund	Exp Sub Fund
(0) CIB, Group			0.00 0.00		8115		3043	3043
(1) Dept. CIB, Group			0.00 0.00		8115		3143	3143
(2) Institution Bonds			0.00 0.00					3235
(3) Revenue Bonds			0.00 0.00					3393
(4) Excess Debt Service			0.00 0.00					3497
(5) Capital Reserve Fund	1,500,000.00		1,500,000.00 0.00		8895		3603	3603
(6) Appropriated State			0.00 0.00		8895	68800100	1001	3600
(7) Federal			0.00 0.00			78800100		5787
(8) Athletic			0.00 0.00			88800100		3807
(9) Other (Specify) Local	400,000.00		400,000.00 0.00 0.00			98800100		3907
TOTAL BUDGET	\$1,900,000.00	\$0.00	\$1,900,000.00					

10. SUBMITTED BY: Debbie Cheek VP of Administration & Finance
 Signature of Authorized Official and Title

July 6, 2017
Date

11. APPROVED BY: _____
 (For Department Use Only) Authorized Signature and Title

Date

25.9. (TEC: Northeastern Technical College) Unexpended funds appropriated to the State Board for Technical and Comprehensive Education for Northeastern Technical College - Industrial Training Center in Act 93 of 2015, Section 1, item number 19, shall be eligible for expenditure in the current fiscal year for an alternate facility and/or location provided that the facility's use and purpose is similar and is demonstrably more cost effective than originally conceived.



Northeastern Technical College

February 22, 2017

The Honorable Hugh Leatherman
Chairman, Senate Finance
SC Senate
111 Gressette Building
Columbia, SC 29201

The Honorable Brian White
Chairman, House Ways and Means
SC House of Representatives
525 Blatt Building
Columbia, SC 29201

Dear Senator Leatherman and Representative White:

Northeastern Technical College's legislative delegation has reviewed the issues and concerns of the renovation request in Project number 6114. The delegation supports the college's request on the Form A-1 to reallocate the awarded funds for the Marlboro County Training Site to a more fiscally-responsible facility in Marlboro County.

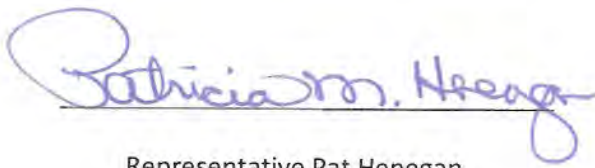
After Northeastern Technical College (NETC) solicited bids for the Marlboro County Training Center and received no responsive bidders, NETC re-evaluated the project and conducted several studies on the leased space known as the old Bennettsville Elementary School. This study revealed that, based on the deteriorated condition of the building and the identified use of the building, the cost was not justifiable. NETC continued to work with the industry partners, county government, city government, and the delegation to identify an alternate and newer facility, with more square footage. A new location was found with a current owner willing to donate the facility to the college foundation.

The delegation supports this change from the old Bennettsville Elementary School in Marlboro County as a training center to the alternative facility located in Marlboro County. The alternative location consists of a building that was built in 1999. The building will be owned by Northeastern Technical College Foundation. The new site will consist of 45,000 square feet of open space, loading dock, an existing sprinkler system through-out the building, newer zone roof-top A/C units, upgraded newer energy efficient roof and will require very little seismic up-fitting. The new building includes land with paved parking for students, lighted parking lot for student security, multiple access points for traffic flow, and a location in a highly visible location.

The delegation that represents Northeastern Technical College Service area including Marlboro County, Dillon County, and Chesterfield County, is in full support of this opportunity to bring a first-class college campus to Marlboro County.

Thank you.

The Northeastern Technical College Delegation



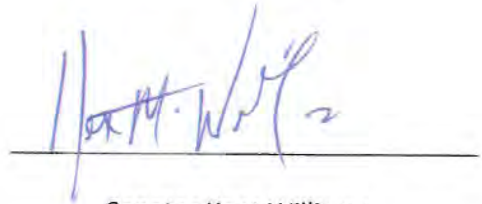
Representative Pat Henegan



Senator Gerald Malloy



Representative Jackie Hayes



Senator Kent Williams



Representative Lucas Atkinson



Senator Greg Hembree



Representative Richie Yow



Senator Vincent Sheheen



Representative Jay Lucas



January 10, 2017

Dr. Kyle Wagner
President
Northeastern Technical College
1201 Chesterfield Highway
Cheraw, SC 29520

Reference: NETC Bennettsville New Campus Evaluation

Dear Dr. Wagner,

Per your request, Lambert Architecture + Construction Services provides the following evaluation of the previously designed and bid Industrial Training Center Project planned to be located at the abandoned Bennettsville Elementary School in comparison to two additional potential sites, both located at the intersection of Hwy 9 and Hwy 38 in Bennettsville, SC.

NETC recently received a bid for the Industrial Training Center Project at the abandoned Bennettsville Elementary School for \$1,331,930 with alternates for welding lab components, a new front entry element and screen wall totaling \$246,117, for a total project bid of \$1,578,047. The scope of work associated with this renovation was quite extensive in the welding lab area due to the limited ceiling heights, thus requiring the roof to be removed, new wall and roof structure be added at a higher elevation, all to accommodate the program goals. Other factors impacting the project cost included new site utilities required to support the new use, new roof insulation and roofing construction, installing a fire alarm system throughout the renovation area as well as adjacent (unused) connecting spaces. Due to the age of the building and associated construction techniques, the building is not seismically sound as it relates to current building code standards and the building is not equipped with a fire protection/sprinkler system, thus limiting future up-fit potential for areas not associated with the initial renovation scope. In summary, there was a significant amount of work required to the existing facility in order to support NETC's current and future planned uses.

One of the project site alternatives is an existing hospital facility previously occupied by McLeod Health totaling over 100,000 sf of existing spread out over 3 separate buildings. Although the main hospital building totally approximately 87,000 sf is in relatively good condition, the size of the facility is much larger than what would be required for NETC's proposed programs. The main building is divided up into many small patient rooms, exam rooms, etc., which is not consistent with the program goals of larger classroom spaces, industrial training areas, and welding facilities. The extent of demolition and renovation required to existing spaces to accommodate the program's needs would be quite costly and challenging given the current layout and expansive utilities required to support the original hospital use. With a 14' clear structural height, this facility lacks the high bay, clear structural height, envisioned for the types of programs that are anticipated to be housed at this training center. Additionally, given the nature of hospitals HVAC systems (100% outside air) and the overall size of the facility, maintaining and operating costs to keep all three buildings mechanically conditioned would result in significant yearly operating costs. The current paving is not configured in a way to accommodate CDL training programs,

and the overall size of the site would also result in higher maintenance costs. Given these items, we do not recommend that this facility to be re-purposed for the proposed program of the industrial training center.

The other project site alternative that was reviewed is an abandoned 45,000 sf Winn Dixie building. This facility is in relatively good condition and lends itself to be very suitable for the anticipated program of the training center which includes: instructional lab classrooms, welding lab, restrooms and offices. This facility also provides ample additional square footage for future programs and the expansion of existing programs. The large paved parking is suitable for student/faculty parking and provides space for future CDL training programs. This is in stark contrast to the Elementary School site which had very little paved parking. With this structure having been built in the 1990's, the masonry walls are reinforced as opposed to the 1960's Elementary School and it's unreinforced masonry walls. This greatly reduces any seismic up-fitting concerns. Since the Winn Dixie has an open floor plan with limited interior partition walls, demolition of existing building elements is minimized. Significant roof repair/replacement and the addition of a loading dock and overhead door were aspects of the Elementary School site that are already provided for at the Winn Dixie building since the roof is in relatively good shape and the building already has a loading door and service doors. Additionally, the existing building is equipped with a fire protection/sprinkler system that can be modified for future uses, thus limiting the costly fire rated construction associated with building not equipped with sprinkler systems.

We have prepared a cost estimate to renovate the Winn Dixie building to a comparable level of the base bid scope included in the Elementary School bid. The Winn Dixie construction cost would be approximately \$700,000 in order to accommodate similar program space as that bid at the Elementary School of \$1,331,930. This would result in a savings of approximately \$630,000 over the bid received for the Elementary School Site. The net saving associated with renovation at the Winn Dixie site may allow NETC to significantly increase the initial project scope and stay within the current overall project budget.

We appreciate the opportunity to evaluate the project sites noted above and welcome any questions that may arise from this information.

Sincerely,



Scott A. Lambert, AIA
President
P.O. Box 5250
Columbia SC 29250

NETC Bennettsville Campus - Winn Dixie Building

June 22, 2017



This cost estimate encompasses the renovation of approximately 14,000 sf of a 46,353 sf Winn Dixie Building in Bennettsville, SC. The scope of the project involves creating 4 classrooms, 2 distance learning labs, and a welding lab. Structural braced metal stud walls will serve to seismicly upgrade the structure. The thermal envelop of the renovated area will be brought up to current code requirements.

CATEGORY	Phase 1
General Conditions	\$44,024
Demolition	\$25,585
Site Conditions & Utilities	\$0
Landscaping	\$0
Concrete	\$4,610
Masonry	\$1,750
Misc. & Structural Steel	\$1,750
<i>Pre-Engineered Metal Building</i>	\$0
Carpentry	\$11,243
Millwork / Casework	\$0
Roofing & Roof Penetrations	\$29,169
Spray Foam Insulation / Misc. Sealants	\$45,046
Doors / Frames / Hardware	\$20,080
<i>Operable Partitions</i>	\$0
Windows	\$9,000
Aluminum Storefront	\$0
Exterior Finish	\$0
Metal Stud Framing / Drywall / ACT	\$136,070
Flooring	\$50,292
Painting	\$32,605
Specialties	\$1,596
Signage	\$2,500
Equipment	\$0
Specialty Piping / Equipment	\$0
Fire Protection	\$16,060
Plumbing	\$0
HVAC	\$204,000
Electrical	\$310,800
Construction Sub-Total:	\$946,181
Building Permits / Review	\$7,105
General Contingency	\$28,632
General Contractor Overhead & Profit	\$49,151
Performance & Payment Bonds	\$11,222
CONSTRUCTION COST ESTIMATE:	\$1,042,290
Estimated A&E Design Fees	\$90,000
Total Project w/ A&E Fees:	\$1,132,290

Alternate Item:

Epoxy Flooring vs. Stained & Sealed	\$45,000.00
-------------------------------------	-------------

Additional Notes:

Cost Summary above assumes no site utilities, no site water management, no repaving of existing asphalt, no landscaping, includes limited seismic upfitting per Structural Engineer's review, no welding equipment, no welding exhaust and no additional E&E.

Schema 1 Legend

- ADMIN
- CIRCULATION
- CLASSROOM
- DISTANCE LEARNING
- LOBBY
- RESTROOM
- SHELL
- WELDING





NETC

STATE OF SOUTH CAROLINA)
)
 COUNTY OF MARLBORO)

ORDINANCE # 762

AN ORDINANCE AMENDING ORDINANCE # 753 TO ALLOW THE TRANSFER OF THE FORMER WINN-DIXIE BUILDING TO NORTHEASTERN TECHNICAL COLLEGE OR THE NORTHEASTERN TECHNICAL COLLEGE FOUNDATION

WHEREAS, S.C. Code Ann. 4-9-25 confers upon the County power to enact ordinances in relation to " the exercise of these powers in relation to health and order in counties or respecting any subject as appears to them necessary and proper for the security, general welfare, and convenience of counties or for preserving health, peace, order, and good government in them.. .".

WHEREAS, the Marlboro County Council (“the Council”) adopted Ordinance # 753 on May 9, 2017 which authorized the Execution and Delivery of a Property Transfer Agreement for the Transfer of Property from the County of Marlboro to Northeastern Technical College in accordance with the terms and conditions stated therein.

WHEREAS, Northeastern Technical College has requested that the County make a transfer of the property designated as Marlboro County Tax Map No. 032-00-01-006, which it received by deed recorded in Deed Book 594, page 170 in the office of the Clerk of Court for Marlboro County unto Northeastern Technical College Foundation or to such other entity as it should designate.

WHEREAS, the County may sell said property upon such terms and conditions as County Council shall deem advisable provided that the Council should enact an ordinance for the approval thereof under SC Code §§ 4-9-120 and 4-9-130(6).

WHEREAS County Council finds that the proposed project would provide services convenient to its citizens, investment in real property and personal property improvements that could result in jobs and taxes and County Council is informed and believes that that it would be in the best interest of the County to convey the subject property to obtain that investment in property and equipment.

NOW, THEREFORE, BE IT ORDAINED by the Administrator and Council of the County of Marlboro this ____ day of _____, 2017 for and in consideration of the sum of one dollar to the County paid and the promise to use the subject property to generate investment and jobs, the receipt and sufficiency of which is hereby acknowledged, the Administrator and Clerk for the County of Marlboro are hereby authorized to execute the attached Deed conveying the subject property to Northeastern Technical College, Northeastern Technical College Foundation or to such other entity as Northeastern Technical College should designate, its successors and assigns.

Section 1. Findings. The County Council finds that:

- a. The County certain real estate within the County limits known as (“Winn Dixie Property”) for which the County has been for years searching for its public purpose;
- b. The County has been approached by “Northeastern Technical College” who plans a project at that location which will benefit the citizens by providing education services not fully available in the County, real and personal property investments which will provide taxes and jobs;
- c. That such aims are within the goals of promoting the general welfare and convenience of the municipality and are authorized by S.C. Code Ann. 4-9-25;
- d. That the proposed conveyance will promote economic development within the County, and is consistent with the County’s agreements with NETC and is in the best interests of the County as determined by the County Council.

Section 2. Authorization

- a. The County is authorized to convey the Winn Dixie property to NETC and the proposed deed is hereby approved as to form and may be delivered to NETC.
- b. The Administrator and the Clerk (or their respective designees) are authorized to execute whatever other documents and take whatever further actions as may be necessary to affect the intent of this Ordinance.

Section 3. If any part of this Ordinance is unenforceable, the remainder is unaffected.

Section 4. To the extent this ordinance contains provisions that conflict with provisions contained elsewhere in the Ordinances for the County of Marlboro or in any orders, resolutions, ordinances, and parts thereof, the provisions contained in this ordinance supersede all other provisions and this ordinance is controlling.

Section 5. This Ordinance is effective after second and final reading.

Adopted this _____th day of _____, 2017.

 Jason K. Steen, Chairman
 Marlboro County Council (L.S.)

ATTEST:

 Patricia M. Bundy, Clerk
 Marlboro County Council (L.S.)

First Reading: August ____, 2017
 Second Reading: September ____, 2017
 Public Hearing: _____, 2017
 Third Reading: _____, 2017

EXHIBIT A

Deed Preparation Only-No Title Examination Performed

STATE OF SOUTH CAROLINA)

TITLE TO REAL ESTATE

COUNTY OF MARLBORO)

KNOW ALL MEN BY THESE PRESENTS, That, MARLBORO COUNTY, SOUTH CAROLINA, a political subdivision of South Carolina, hereinafter referred to as the “Grantor,” in the County and State aforesaid, for and in consideration of the sum of FIVE AND 00/100 (\$5.00) DOLLARS, paid by Northeastern Technical College Foundation, _____, its successors and assigns hereinafter referred to as “Grantee”, has granted, bargained, sold and released, and by these presents does grant, bargain, sell and release unto the said Grantee, its successors and assigns forever the following described property:

PROPERTY DESCRIPTION:

See Exhibit “A” attached.
(To be provided by new survey)

Grantor conveys the property on an “as is,” “where is” basis with the Grantor hereby expressly disclaiming, and the Grantee hereby accepting the property, **WITHOUT ANY REPRESENTATIONS OR WARRANTIES WHATSOEVER, except warranty as to title, but no others, whether EXPRESS OR IMPLIED, FITNESS FOR A PARTICULAR PURPOSE, MERCHANTABILITY, or otherwise.**

This being the same property conveyed to Marlboro County by deed recorded in Deed Book 594 at Page 170 in the office of the Clerk of Court for Marlboro County, S.C.

Tax Map #: 032-00-01-006.

Together with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

TO HAVE AND TO HOLD all and singular the premises before mentioned unto the said Grantee, its successors and assigns forever.

(No Warranty of Title Provided)

WITNESS the Hand and Seal of the Grantor this ___ day of _____, in the year of our Lord two thousand seventeen and in the two hundred and forty-first year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF

MARLBORO COUNTY, SOUTH CAROLINA

Witness #1

BY: _____ (L.S.)
Jason K. Steen, Chairman
Marlboro County Council

Witness #2

ATTEST:

Patricia M. Bundy, Clerk
Marlboro County Council

STATE OF SOUTH CAROLINA)

COUNTY OF MARLBORO)

I, _____, a Notary Public for the State of South Carolina, do hereby certify that Marlboro County, South Carolina, by and through Jason K. Steen, Chairman and Patricia M. Bundy, Clerk, its duly authorized officers, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal
this ___ day of _____, 2017.

Notary Public for South Carolina
My Commission Expires: _____

STATE OF SOUTH CAROLINA)
)
COUNTY OF MARLBORO)

AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this affidavit and I understand such information.
2. The property being transferred is known as Winn-Dixie Building, near Bennettsville, SC, bearing Marlboro County Tax Map Number 032-00-01-006, and was transferred by Marlboro County to Northeastern Technical College Foundation on _____, 2017.
3. Check one of the following: The Deed is
 - a) Subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - b) Subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - c) Exempt from the deed recording fee because (See Information section of this affidavit.)
1-transferring realty with a value of \$100.00 or less.

(If exempt, please skip items 4-7, and go on to item 8 of this affidavit.)

If exempt under exemption #14 as described in the information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase realty? Check Yes _____ or No _____.

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See Information section of this affidavit):
 - a) The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$ _____
 - b) The fee is computed on the fair market value of the realty which is \$ _____.
 - c) The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ _____.
5. Check Yes or No to the following: A lien or encumbrance existed on the land, tenement or realty before the transfer and remained on the land, tenement or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: _____.
6. The deed recording fee is computed as follows:
 - a) Place the amount listed in item 4 above here: \$ 0.00
 - b) Place the amount listed in item 5 above here: \$ 0.00
(If no amount is listed, place zero here.)
 - c) Subtract line 6(b) from line 6(a) and place the result here: \$ 0.00
7. The deed recording fee is based on the amount listed on line 6(c) above and the deed recording fee due is: \$ 0.00
Deed recording fee: \$ 10.00
Total recording fee: \$ 10.00
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as:
9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

Responsible Person Connected with the Transaction

SWORN to before me this ___ day of _____, 2017

Notary Public for South Carolina
My Commission Expires: _____

Revised 12/11/2015

EXHIBIT B
FORM OF AGREEMENT

STATE OF SOUTH CAROLINA)
)
)
COUNTY OF MARLBORO) AGREEMENT FOR DEVELOPMENT OF
) Northeastern Technical College Foundation
) Project

THIS AGREEMENT for the development of Northeastern Technical College to be located in County of Marlboro, South Carolina (“County of Marlboro”), dated as of _____, 2017, is made and entered into by and between County of Marlboro, a political subdivision of the State of South Carolina, and The Northeastern Technical College NETC collectively, the “Parties”).

RECITALS

WHEREAS, the Parties have determined that, in order to promote economic development and thus provide additional employment opportunities within both of said Parties, and to increase the tax base of County of Marlboro, there should be established in County of Marlboro a Northeastern Technical College; and

WHEREAS, County of Marlboro has agreed to provide the land provided that NETC shall make any and all investments to build Northeastern Technical College within two (2) years of the date of this agreement to provide jobs and taxes to the County;

NOW, THEREFORE, in consideration of the mutual agreement, representations and benefits contained in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

1. **Binding Agreement.** This Agreement serves as a written instrument setting forth the entire agreement between the parties and shall be binding on the Parties, their successors and assigns.

2. **Authorization.** Section 4-9-25 Code of Laws of South Carolina, 1976, as amended and County Ordinance approved by County Council.

3. **Location of the Project.** The Project will be built upon property located in County of Marlboro, as is hereinafter more specifically described in a Proposed Deed attached as Exhibit A hereto.

4. **County and NETC Obligations.** County of Marlboro shall have no liability for the project whatsoever; other than the conveyance of property owned by it, but subject to such provisions as County Council shall require of NETC listed below:
 - A. Marlboro County Council will deed to Northeastern Technical College, Northeastern Technical College Foundation or to such other entity as Northeastern Technical College should designate, its successors and assigns (NETC), the property known as the “old Winn-Dixie Building” on SC Highway

9 in Bennettsville subject to the following provisions to be contained in the deed:

- 1) The building must be used for a vocational education or related program that benefits the citizens of Marlboro County.
- 2) If classes related to the program have not commenced in 12 months or if the property at any time becomes dormant for more than 18 months, the ownership of the property and improvements revert to County.
- 3) Should NETC decide to sell the property in the future, the County shall have a first right of refusal to purchase the site.
- 4) The project will be announced as a joint effort of NETC and Marlboro County. The County shall have input and veto power over press releases, groundbreaking events event agenda and other activities related to the initial announcements and groundbreaking.
- 5) The facility may not be named after any individual, living or dead, without explicit approval of Marlboro County Council

B. NETC will deed to Marlboro County the current Library and NETC classroom building and property on Fayetteville Avenue and Marlboro Street.

- 1) Timeline for transfer of ownership is contingent on release from EDA grant restrictions on property. Without a release, the EDA grant restrictions expire in 3 years.
- 2) If a release is not immediate, NETC will lease the property to Marlboro County for \$1 a year for the 3-year period at which time unencumbered title will be issued

C. Beginning in FY2017-18, the dedicated tax millage rate for Northeastern Technical College (NETC) shall include an additional 1.3 mils dedicated to the capital improvement, repairs, utilities and/or maintenance of facilities currently owned by NETC and any building owned by Marlboro County government that is now or formerly was provided general support to NETC. This includes but is not limited to, the Marian Wright Edelman Library, the former NETC Bennettsville Campus and the Murchison School Building.

- 1) One half (50%) of these tax proceeds must be reserved for the properties owned by Marlboro County. This additional millage shall continue for five years at which time it may be extended by action of the Marlboro County Council.

5. **Property Condition.** County shall convey the property on an “as is,” “where is” basis, the County hereby expressly disclaiming, and NETC hereby accepting the property, and such acceptance is material to this agreement, **WITHOUT ANY REPRESENTATIONS OR WARRANTIES WHATSOEVER, except warranty as to title, but no others, whether EXPRESS OR IMPLIED, FITNESS FOR A PARTICULAR PURPOSE, MERCHANTABILITY, or otherwise.**

6. **Failure to Build Project.** NETC agrees that should it fail to build the project within two (2) years of the date hereof, then NETC shall re-convey the property to the County.

7. **Records.** NETC covenants and agrees that, upon the request of the County, NETC will provide to the Administrator and/or County Council copies of the records of confirming NETC’s investment at the site and number of employees employed. It is further agreed that County shall not request such records from NETC more frequently than once annually, absent compelling justification to the contrary.

8. **Severability.** In the event and to the extent (and only to the extent) that any provision or any part of a provision of this Agreement shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall not invalidate or render unenforceable the remainder of that provision or any other provision or part of a provision of this Agreement.

9. **Termination.** Notwithstanding any provision of this Agreement to the contrary, County of Marlboro and NETC agree that this Agreement may not be terminated by either party for a period of five (5) years commencing with the effective date hereof.

10. **Assignment.** At any time prior to delivery of the deed from the County and at the sole option of NETC, the rights and obligations of NETC under this Agreement shall be assignable only to an affiliate of NETC that directly or indirectly controls, is controlled by, or is under common control with NETC.

11. **Entire Agreement:** Parties agree that this agreement expresses the entire Contract between the parties, that there is no other agreement, oral/otherwise, modifying the terms and this agreement is binding on Parties and their principals, heirs, personal representatives, successors, and assigns

WITNESS our hands and seals as of this ___ day of May, 2017.

COUNTY OF MARLBORO, SOUTH CAROLINA

By: _____
Jason K. Steen, Chairman
Marlboro County Council

(SEAL)

ATTEST:

Patricia M. Bundy, Clerk
Marlboro County Council

DRAFT

WITNESS our hands and seals as of this ___ day of _____, 2017.

NORTHEASTERN TECHNICAL COLLEGE

By: _____
Printed Name: _____
Title: DULY AUTHORIZED OFFICER

DRAFT

DESCRIPTION OF INTERIM CAPITAL PROJECTS FOR CONSIDERATION

September 7, 2017

TRI-COUNTY TECHNICAL COLLEGE

PROJECT NAME: Pendleton Campus Student Success Center/Central Plant
REQUESTED ACTION: Change Source of Funds
REQUESTED ACTION AMOUNT: \$0.00
INITIAL CHE RECOMMENDATION DATE: August 21, 2015 (Phase II)

<u>Project Budget</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Professional Service Fees	\$4,000,000	\$0	\$4,000,000
Equipment and/or Materials	\$5,029,526	\$0	\$5,029,526
Site Development	\$2,099,459	\$0	\$2,099,459
New Construction	\$20,564,326	\$0	\$20,564,326
Renovations – Building Interior	\$8,930,689	\$0	\$8,930,689
Contingency	\$4,000,000	\$0	\$4,000,000
Total	\$44,624,000	\$0	\$44,624,000

<u>Source of Funds</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Capital Reserve Fund	\$500,000	\$0	\$500,000
Capital Project Cumulated Maintenance Reserve	\$16,824,000	\$0	\$16,824,000
County Funds	\$7,050,000	\$(7,050,000)	\$0
Foundation Supported Revenue Bonds	\$20,250,000	\$7,050,000	\$27,300,000
Total	\$44,624,000	\$0	\$44,624,000

DESCRIPTION:

Tri-County requests to change the source of funds from County Funds (cash reserves) to Foundation Supported Revenue Bonds. There is no change to the project’s budget, which is 37% funded by the College and 63% funded by the Counties in its service area – Pickens, Oconee, and Anderson.

At the time that Phase II approval was received, one of the counties in the College’s service area had not opted to participate in the Foundation’s bond issuance to cover its portion of the project’s costs. The bond resolution approved by JBRC and SFAA in October 2015 was for a larger amount than presented in the project budget as a contingency plan, to ensure that all of the funds were available for construction. JEDA, as the bond issuing authority, requested the bond issuance on behalf of TCTC’s Foundation, and the resolution included not-exceeding \$33M Education Facilities Revenue Bonds (\$5M refunding involved). Subsequent to the February 2016 \$27.920M bond issuance, the third county voted in May 2017 to fund the project with the issued bonds rather than cash reserves.

The bonds are supported by commitments from the counties, and do not have a negative effect on the Counties’ annual contributions to the College for operations and capital renovations. The repayment of the bonds are separate budget line items in each County’s budget and are funded with tax millage, not tuition.

E&G MAINTENANCE NEEDS:

N/A – New Construction

ANNUAL OPERATING COSTS/SAVINGS:

\$136,302/Year to include utilities, maintenance, custodial, and insurance.

FOR BOARD USE ONLY	
CHE	_____
JBRC	_____
BC Board	_____
JBRC Staff	_____
BC Staff	_____
A-1 Form Mailed	_____
SPIRS Date	_____
Summary	_____

(For Board Use Only)
SUMMARY NUMBER
FORM NUMBER

BUDGET AND CONTROL BOARD - PERMANENT IMPROVEMENT PROJECT REQUEST

1. AGENCY Code H59 Name Tri-County Technical College
 Contact Person Cara Hamilton Phone 864-646-1797

2. PROJECT Project # 6093 Name Pendleton Campus Student Success Center/Central Plant
 Facility # _____ Facility Name Student Success Center

County Code	4
New/Revised Budget	\$44,624,000.00

Project Type	Construct Additional Facilities
Facility Type	Administration/Academic/Utilities

3. CPIP PROJECT APPROVAL FOR CURRENT FISCAL YEAR
 CPIP priority number 1 of 3 for FY 15-16.

4. PROJECT ACTION PROPOSED (Indicate all requested actions by checking the appropriate boxes.)

<input type="checkbox"/> Establish Project	<input type="checkbox"/> Decrease Budget	<input type="checkbox"/> Close Project
<input type="checkbox"/> Establish Project - CPIP	<input checked="" type="checkbox"/> Change Source of Funds	<input type="checkbox"/> Change Project Name
<input type="checkbox"/> Increase Budget	<input type="checkbox"/> Revise Scope	<input type="checkbox"/> Cancel Project

5. PROJECT DESCRIPTION AND JUSTIFICATION
 (Explain and justify the project or revision, including what it is, why it is needed, and any alternatives considered. Attach supporting documentation/maps to fully convey the need for the request.)
 Change source of funds: \$7,050,000.00 from county funds to Revenue Bonds. One of our local counties decided to participate in our Revenue Bonds in lieu of supplying funds from their cash reserves. This was not know at the inception of this project.

6. OPERATING COSTS IMPLICATIONS
 Attach Form A-49 if any additional operating costs or savings will result from this request. This includes costs to be absorbed with current funding.

7. ESTIMATED PROJECT SCHEDULE AND EXPENDITURES
 Estimated Start Date: November 2015 Estimated Completion Date: February 2019
 Estimated Expenditures: Thru Current FY: \$16,244,239.00 After Current FY: \$28,379,761.00

8. ESTIMATES OF NEW/REVISED PROJECT COSTS

PROJECT #	6093
------------------	------

- 1. _____ Land Purchase ---->
 - 2. _____ Building Purchase ---->
 - 3. 4,000,000.00 Professional Services Fees
 - 4. 5,029,526.00 Equipment and/or Materials ---->
 - 5. 2,099,459.00 Site Development
 - 6. 20,564,326.00 New Construction ---->
 - 7. 8,930,689.00 Renovations - Building Interior ---->
 - 8. _____ Renovations - Utilities
 - 9. _____ Roofing - _____ Roof Age
 - 10. _____ Renovations - Building Exterior
 - 11. _____ Other Permanent Improvements
 - 12. _____ Landscaping
 - 13. _____ Builders Risk Insurance
 - 14. _____ Other Capital Outlay
 - 15. _____ Labor Costs
 - 16. _____ Bond Issue Costs
 - 17. _____ Other: _____
 - 18. 4,000,000.00 Contingency
- \$44,624,000.00 TOTAL PROJECT BUDGET

Land: _____ Acres
 Floor Space: _____ Gross Square Feet
 Information Technology \$1,000,000.00
 Floor Space: 75,200 Gross Square Feet
 Floor Space: 62,623 Gross Square Feet

ENVIRONMENTAL HAZARDS	
Identify all types of significant environmental hazards (including asbestos, PCB's, etc.,) present in the project and the financial impact they will have on the project.	
Type:	_____
<u>Cost Breakdown</u>	
Design Services	\$ _____
Monitoring	\$ _____
Abate/Remed	\$ _____
Total Costs	<u>\$ 0.00</u>

9. PROPOSED SOURCE OF FUNDING

Source	Previously Approved Amount	Increase/Decrease	Original/Revised Budget	Transfer to/from Proj. #	Rev Object Code	Treasurer's ID Number	Rev Sub Fund	Exp Sub Fund
(0) CIB, Group			0.00 0.00		8115		3043	3043
(1) Dept. CIB, Group			0.00 0.00		8115		3143	3143
(2) Institution Bonds			0.00 0.00					3235
(3) Revenue Bonds			0.00 0.00					3393
(4) Excess Debt Service			0.00 0.00					3497
(5) Capital Reserve Fund	500,000.00		500,000.00 0.00		8895		3603	3603
(6) Appropriated State			0.00 0.00		8895	68800100	1001	3600
(7) Federal			0.00 0.00			78800100		5787
(8) Athletic			0.00 0.00			88800100		3807
(9) Other (Specify)								
Cap Proj Cum Maint Fnd	16,824,000.00	0.00	16,824,000.00			98800100		3907
Counties	7,050,000.00	(7,050,000.00)	0.00					
Fdn Supp Rev Bonds	20,250,000.00	7,050,000.00	27,300,000.00					
TOTAL BUDGET	\$44,624,000.00	\$0.00	\$44,624,000.00					

10. SUBMITTED BY:


 Vice President for Business Affairs
 Signature of Authorized Official and Title

2/26/17
 Date

11. APPROVED BY:
 (For Board Use Only)

 Authorized Signature and Title

 Date

**THE SOUTH CAROLINA JOBS-ECONOMIC
DEVELOPMENT AUTHORITY**

A RESOLUTION TO AMEND A RESOLUTION OF THE BOARD OF DIRECTORS ADOPTED JULY 16, 2015, TO INCREASE THE NOT TO EXCEED AMOUNT FROM \$20,500,000 TO NOT TO EXCEED \$33,000,000, TO INCLUDE ADDITIONAL PROJECTS, AND TO AMEND THE INDUCEMENT AGREEMENT BY AND BETWEEN SOUTH CAROLINA JOBS-ECONOMIC DEVELOPMENT AUTHORITY AND TCTC FOUNDATION, LLC TO REFLECT THE INCREASED BORROWING AMOUNT AND ADDITIONAL PROJECTS

WHEREAS, the South Carolina Jobs-Economic Development Authority (“*Authority*”), acting by and through its Board of Directors, is authorized and empowered under and pursuant to the provisions of Title 41, Chapter 43 of the Code of Laws of South Carolina 1976, as amended (“*Act*”), to utilize any of its program funds to establish loan programs for the purpose of reducing the cost of capital to qualified business enterprises and for other purposes described in Section 41-43-160 of the Act in order to promote and develop the economic welfare of the State of South Carolina (“*State*”) and thus provide maximum opportunities for the creation and retention of jobs and improvement of the standard of living of the citizens of the State and act in conjunction with other persons and organizations, public or private, in the promotion and advancement of industrial, commercial, agricultural, and recreational development in this State; and

WHEREAS, the Authority is further authorized by Section 41-43-110 of the Act to issue revenue bonds, as defined in the Act to include notes, payable by the Authority solely from a revenue producing source and secured by a pledge of said revenues in order to provide funds for any program authorized by the Act, including refunding the Authority’s outstanding bonds; and

WHEREAS, TCTC Foundation, LLC (“*Borrower*”), a South Carolina limited liability company of which Tri-County Technical College Foundation, Inc., an organization described in Section 501(c)(3) of the Internal Revenue Code of 1986, as amended, is the sole member, has previously applied to the Authority to issue not to exceed \$20,500,000 of its Education Facilities Revenue Bonds (“*Bonds*”) in one or more series, taxable or tax-exempt, in order to defray the cost of (i) construction of a new Student Success Center to house a Learning Commons and associated group study space and computer labs, campus store, café, and a shipping and receiving facility (ii) refurbishment and repurposing of Ruby Hicks Hall to become a one-stop, student services center, and (iii) construction of a new central plant to provide cooling for campus buildings via an energy loop (collectively, “*Original Projects*”); all for use by Tri-County Technical College in Anderson County, South Carolina (“*College*”);

WHEREAS, the Authority provided preliminary approval of the Original Projects and issuance of its Bonds in the amount of not to exceed \$20,500,000 by Resolution of the Board of Directors dated July 16, 2015 (“*Original Resolution*”);

WHEREAS, the Borrower has determined that it may be beneficial to the College to (i) amend the structure of the Authority’s outstanding Economic Development Revenue Bond (TCTC Foundation LLC Project) Series 2005 (“*Series 2005 Bonds*”) issued in the original principal amount of \$8,000,000, or (ii) prepay Loan Payments, as defined in the Loan Agreement dated August 25, 2005, between the Authority and the Borrower, in order to provide funds necessary to refund and defease all or a portion of the Series 2005 Bonds (collectively, “*Additional Projects*,” together with the Original Project,

“Projects”) which were issued and loaned to the Borrower to defray the costs of (x) acquiring certain real property and (y) constructing and equipping an approximately 45,000 square foot classroom building;

WHEREAS, the Borrower has applied to the Authority to amend the Original Resolution to increase the not to exceed amount of the Bonds from \$20,500,000 to \$33,000,000, to provide funds for the Additional Projects;

WHEREAS, the Borrower has further applied to the Authority to amend the Inducement Agreement dated July 16, 2015, between the Authority and the Borrower to reflect the increased borrowing amount and the inclusion of the Additional Project;

WHEREAS, it is in the public interest, for public benefit and in furtherance of the public purposes of the Authority, that its Board of Directors amend the Original Resolution to provide preliminary approval for the increased borrowing amount and the issuance of the Bonds for the Projects; and

WHEREAS, it is deemed advisable by the Authority to file with the State Fiscal Accountability Authority of South Carolina (“*State Fiscal Accountability Authority*”), in compliance with Section 41-43-110 of the Act, a Petition (defined below) of the Authority requesting approval by the State Fiscal Accountability Authority for the issuance of the Bonds at public or private sale on receipt by the Authority from the Borrower of evidence satisfactory to the Authority of the economic feasibility of the Projects.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the Authority (“*Board*”) as follows:

Section 1. The findings of the Board in the Original Resolution are affirmed and incorporated in this Resolution as if set out in their entirety. The Board further finds, and determines that:

(a) The Borrower has demonstrated that this assistance of the Authority by the issuance of the Bonds in the increased borrowing amount of \$33,000,000 to provide funds for the Additional Project will result in the alleviation of unemployment and other public benefits incident to the conduct of such activity not otherwise provided locally; and the number of jobs and other public benefit resulting from the assistance authorized herein bears a reasonable relationship to the principal amount of the Bonds (as described below).

(b) The principal amount of the Bonds bears a reasonable relationship to the amount of private funds committed to the Additional Project.

(c) The size and scope of the Additional Project is such that a definite benefit to the economy of the State, and the County in particular, is reasonably expected to result therefrom.

Section 2. Subject to such approval by the State Fiscal Accountability Authority and the governing board of the County, as required by law, the Board preliminarily approves the issuance and sale of one or more series, taxable or tax-exempt, of facility revenue bonds of the Authority pursuant to Section 41-43-110 of the Act in a principal amount of not to exceed \$33,000,000 for the purpose of providing funds to be loaned to the Borrower to finance the Projects and the related items as described in the recitals, above.

Section 3. The issuance and sale of the Bonds shall be upon such terms and conditions as may be mutually agreed upon by the Authority, the Borrower and the purchaser of the Bonds, and shall be subject to completion of proceedings for issuance, sale and delivery of the Bonds satisfactory to the Authority. The provisions, terms, and conditions of the agreements to be entered into in connection with the issuance of the Bonds by the Authority, and the form, details, rate or rates of interest, maturity, and redemption provisions, if any, of the Bonds, other details of any loan agreement relating to the Bonds, and findings required by the Act shall be prescribed by subsequent resolution of the Authority and shall be reasonable and proper (taking into account such factors as the type of program involved, the principal amount of the Bonds, and the number and type of jobs involved), and the public interest shall be adequately protected by the terms thereof.

Section 4. The Executive Director is hereby authorized and directed to execute the First Amendment to the Inducement Agreement in the form attached hereto as Exhibit A (with such changes as shall have been approved by counsel to the Authority), in the name and on behalf of the Authority and to affix the seal of the Authority and to attest the same, and the Executive Director of the Authority is hereby further authorized and directed to deliver said executed First Amendment to the Inducement Agreement to the Borrower.

Section 5. It is the intention of the Authority that this resolution shall constitute an official action on the part of the Authority within the meaning of the applicable regulations of the Department of Treasury of the United States of America relating to the issuance of tax-exempt revenue bonds.

Section 6. The Bonds shall never constitute an indebtedness of the Authority or the State within the meaning of any state constitutional provision or statutory limitation and shall never constitute nor give rise to a pecuniary liability of the Authority or the State or a charge against the general credit of the Authority or the State or the taxing powers of the State.

Section 7. There shall be and is hereby authorized and directed the submission on behalf of the Authority, of a petition ("*Petition*") in the form attached hereto as Exhibit B (with such changes as shall have been approved by counsel to the Authority), requesting approval by the State Fiscal Accountability Authority (pursuant to the provisions of Section 41-43-110 of the Act) of the issuance of the Bonds through public or private sale, said Petition, which constitutes and is hereby made a part of this Resolution, to be in form acceptable to the State Fiscal Accountability Authority.

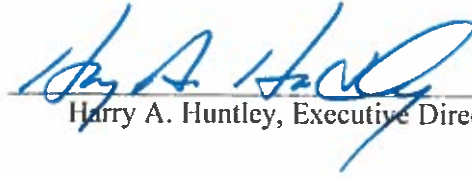
Section 8. The Chairman of the Board shall be and is hereby authorized and directed to execute the Petition in the name and on behalf of the Authority, and the Executive Director of the Authority shall be and is hereby authorized and directed to affix the seal of the Authority to the Petition and to attest the same and thereafter, upon the conditions set forth hereinabove, to submit an executed copy of this resolution to the State Fiscal Accountability Authority.

Section 9. All orders and resolutions and parts thereof in conflict herewith are to the extent of such conflict hereby repealed, and this resolution shall take effect and be in full force from and after its passage and approval.

[SIGNATURE PAGE FOLLOWS]
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Passed and approved: September 24th, 2015.

**SOUTH CAROLINA JOBS-ECONOMIC
DEVELOPMENT AUTHORITY**



Harry A. Huntley, Executive Director

FIRST AMENDMENT TO THE INDUCEMENT AGREEMENT

THIS FIRST AMENDMENT TO THE INDUCEMENT AGREEMENT ("*First Amendment*") made and entered into by and between SOUTH CAROLINA JOBS-ECONOMIC DEVELOPMENT AUTHORITY, a public body corporate and politic and an agency and duly constituted authority of the State of South Carolina ("*Authority*"), and TCTC FOUNDATION LLC ("*Borrower*").

WITNESSETH

ARTICLE I RECITATION OF FACTS

As a means of setting forth the matters of mutual inducement which have resulted in the making and entering into of this Agreement, the following statements of fact are herewith recited:

Section 1.01. The Authority, acting by and through its Board of Directors, is authorized and empowered under and pursuant to the provisions of Title 41, Chapter 43 of the Code of Laws of South Carolina 1976, as amended ("*Act*"), to utilize any of its program funds to establish loan programs for the purpose of reducing the cost of capital to qualified business enterprises and for other purposes described in Section 41-43-160 of the Act in order to promote and develop the economic welfare of the State of South Carolina ("*State*") and thus provide maximum opportunities for the creation and retention of jobs and improvement of the standard of living of the citizens of the State and act in conjunction with other persons and organizations, public or private, in the promotion and advancement of industrial, commercial, agricultural, and recreational development in the State.

Section 1.02. The Authority is further authorized by Section 41-43-110 of the Act to issue revenue bonds, as defined in the Act to include notes, payable by the Authority solely from a revenue producing source and secured by a pledge of said revenues in order to provide funds for any program authorized by the Act, including refunding the Authority's outstanding bonds.

Section 1.03. The Borrower has previously applied to the Authority to issue not to exceed \$20,500,000 of its Education Facilities Revenue Bonds ("*Bonds*") in one or more series, taxable or tax-exempt, in order to defray the cost of (i) construction of a new Student Success Center to house a Learning Commons and associated group study space and computer labs, campus store, café, and a shipping and receiving facility (ii) refurbishment and repurposing of Ruby Hicks Hall to become a one-stop, student services center, and (iii) construction of a new central plant to provide cooling for campus buildings via an energy loop (collectively, "*Original Projects*"); all for use by Tri-County Technical College in Anderson County, South Carolina ("*College*") and entered into an Inducement Agreement dated July 16, 2015 with the Authority with respect to the Original Projects ("*Inducement Agreement*").

Section 1.04. The Borrower made a subsequent application to the Authority to increase the not to exceed amount of the Bonds to \$33,000,000 for the purpose of providing additional funds to (i) amend the structure of the Authority's outstanding Economic Development Revenue Bond (TCTC Foundation LLC Project) Series 2005 ("*Series 2005 Bonds*") issued in the original principal amount of \$8,000,000, or (ii) prepay Loan Payments, as defined in the Loan Agreement dated August 25, 2005, between the Authority and the Borrower, in order to provide funds necessary to refund and defease all or a portion of the Series 2005 Bonds (collectively, "*Additional Projects*,"") which were issued and loaned to the Borrower to defray the costs of (x) acquiring certain real property and (y) constructing and equipping an approximately 45,000 square foot classroom building;

Section 1.05. The Authority wishes to induce the Borrower to undertake the Additional Project, and has given due consideration to all the proposals and requests of the Borrower and has agreed to endeavor to effect the issuance of the Bonds in the amount of not to exceed \$33,000,000 at the time and on the terms and conditions hereafter set forth.

Section 1.06. The Authority and the Borrower wish to amend the Inducement Agreement as set forth in Article II to include the Additional Project and the increased borrowing amount.

ARTICLE II AMENDMENT TO INDUCEMENT AGREEMENT

The Authority and the Borrower agree as follows:

Section 2.01. The Inducement Agreement is amended to include the Additional Project in the description of the Project to be financed by the Bonds and to increase the not to exceed principal amount from \$20,500,000 to \$33,000,000.

Section 2.02. Except as described in Section 2.01 of this First Amendment, the remainder of the Inducement Agreement remains unchanged and in full force, including all representations, covenants and commitments of each the Authority and the Borrower.

IN WITNESS WHEREOF, the parties hereto, each after due authorization, have executed this First Amendment on the respective dates indicated below.

[SIGNATURE PAGE FOLLOWS]
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**SOUTH CAROLINA JOBS-ECONOMIC
DEVELOPMENT AUTHORITY**

(SEAL)

Dated: September 24th, 2015

By: _____

Harry A. Huntley, Executive Director

TCTC FOUNDATION, LLC

(SEAL)

Dated: September _____, 2015

By: _____

FIRST AMENDMENT TO INDUCEMENT AGREEMENT BY AND BETWEEN SOUTH CAROLINA JOBS-ECONOMIC
DEVELOPMENT AUTHORITY AND TCTC FOUNDATION LLC
[SIGNATURE PAGE]

STATE OF SOUTH CAROLINA)	
)	
RICHLAND COUNTY)	
)	
_____)	
)	
TO THE STATE FISCAL)	PETITION OF
)	SOUTH CAROLINA
)	JOBS-ECONOMIC
ACCOUNTABILITY AUTHORITY)	ECONOMIC
)	DEVELOPMENT
)	AUTHORITY
OF SOUTH CAROLINA)	

This Petition of the South Carolina Jobs-Economic Development Authority (“*Authority*”), pursuant to Title 41, Chapter 43 of the Code of Laws of South Carolina 1976, as amended (“*Act*”), and specifically Section 41-43-110 thereof, respectfully shows:

1. The Act, among other things, empowers the Authority: (i) to utilize any of its program funds to establish loan programs to be utilized to acquire, by construction or purchase, land and buildings or other improvements thereon, machinery, equipment, office furnishings or other depreciable assets, or for research and design costs, legal and accounting fees, or other expenses in connection with the acquisition or construction thereof and thus provide maximum opportunities for the creation and retention of jobs and improvement of the standard of living of the citizens of the State of South Carolina (“*State*”) and act in conjunction with other persons and organizations, public or private, in the promotion and advancement of industrial, commercial, agricultural, and recreational development in the State; and (ii) subject to the approval of the State Fiscal Accountability Authority of the issuance of its bonds through public sale pursuant to Section 41-43-110 of the Act, to issue revenue bonds in order to provide funds for any program authorized by the Act, and to secure the payment of such bonds, all as provided in the Act.

2. The Authority has agreed to assist TCTC Foundation LLC (“*Borrower*”), a South Carolina limited liability company of which Tri-County Technical College Foundation, Inc., an organization described in Section 5-1(c)(3) of the Internal Revenue Code of 1986, as amended, is the sole member, by issuing one or more series of its Education Facilities Revenue Bonds (“*Bonds*”) for purposes of (A) defraying the cost of the (i) construction of a new Student Success Center to house a Learning Commons and associated group study space and computer labs, campus store, café, and a shipping and receiving facility (ii) refurbishment and repurposing of Ruby Hicks Hall to become a one-stop, student services center, and (iii) construction of a new central plant to provide cooling for campus buildings via an energy loop, all for use by Tri-County Technical College in Anderson County, South Carolina (“*College*”) and (B) providing funds to (i) amend the structure of the Authority’s outstanding Economic Development Revenue Bond (TCTC Foundation LLC Project) Series 2005 (“*Series 2005 Bonds*”) issued in the original principal amount of \$8,000,000, or (ii) prepay Loan Payments, as defined in the Loan Agreement dated August 25, 2005, between the Authority and the Borrower, in order to provide funds necessary to refund and defease all or a portion of the Series 2005 Bonds (collectively, “*Projects*,”) which were issued and loaned to the Borrower to defray the costs of (x) acquiring certain

real property and (y) constructing and equipping an approximately 45,000 square foot classroom building;

3. None of the proceeds of any bonds issued by the Authority for the benefit of the Borrower will be used directly or indirectly to pay, or directly or indirectly to refinance indebtedness the proceeds of which were used to pay, for the acquisition, construction, equipping, expansion, enlargement or improvement or any of the expenses of any property which is owned or to be owned by a person other than a governmental unit or entity or an organization described in Section 501(c)(3) of the Internal Revenue Code of 1986, as amended.

4. The undersigned Executive Director of the Authority certifies that approval of the Project was not made in consideration of any bribe, gift, gratuity, or direct or indirect contribution to any political campaign.

5. The Authority has been advised by the Borrower that the estimated cost of the Projects will be \$33,000,000 and the Borrower has requested the Authority to execute and deliver the Bonds in one or more series, taxable or tax-exempt, in the aggregate principal amount of not exceeding \$33,000,000 to defray such costs.

6. The Bonds will be purchased (or underwritten) by a financial institution acceptable to the Authority through a public or private sale.

7. The Authority hereby finds that:

(a) The Borrower is a responsible party engaged in the business of provided the Project and other educational facilities for use by the College and the Project is located in Anderson County, South Carolina ("County").

(b) It is anticipated that the Project will benefit the general public welfare of the State, and the County in particular, by maintaining employment for 335 people and by providing employment for an additional 54 people within 12 months and a total of 81 people within 24 months at the College from the County and adjacent areas, with a resulting alleviation of unemployment and a substantial increase in payrolls and other public benefits incident to the conduct of such businesses not otherwise provided locally, and the number of jobs resulting from the assistance authorized herein bears a reasonable relationship to the principal amount of the Bonds.

(c) The size and scope of the Project is such that a definite benefit to the economy of the State, and the County in particular, is reasonably expected to result therefrom.

(d) The principal amount of the Bonds bears a reasonable relationship to the amount of funds of the Borrower committed to the Project.

6. Prior to issuance of the Bonds, the Authority will, as part of its proceedings:

(a) Require a resolution from the governing body of the County containing the following findings: (1) that the financing of the Project will serve the purposes of the Act; (2) that the financing of the Project is anticipated to benefit the general public welfare of the County by providing services, employment, or other public benefits not otherwise provided locally; (3) that the financing of the Project will give rise to no pecuniary liability of the Authority or a charge against its general credit or taxing power; and (4) the amount of Bonds required to finance the Project;

(b) Hold a public hearing in the County in connection with such resolution;

(c) Make findings that the terms of the agreements to be entered into in connection with the Project are reasonable and proper as to the adequacy of protection for the public interest provided by such terms;

(d) Negotiate the terms of such agreements to the extent necessary to conclude that neither the financing of the Project, the Bonds proposed to be issued by the Authority to defray the cost of the Project, nor any documents or agreements entered into by the Authority in connection therewith will constitute or give rise to a pecuniary liability of the Authority or the State or a charge against the general credit or taxing power of either, and only program funds (as defined in the Act) will be made available to finance the Project;

(e) Undertake such review as is necessary to conclude that the Borrower is an organization with established credit and is a responsible party; and

(f) Undertake such review as is necessary to conclude that the issuance of the Bonds by the Authority in the final principal amount requested by the Borrower will be required to defray the cost of financing the Project, and such principal amount bears a reasonable relationship to the amount of private funds also committed to the Project.

Upon the basis of the foregoing, the Authority respectfully prays that the State Fiscal Accountability Authority (i) accept the filing of this Petition and the documents submitted herewith, (ii) make such review as it deems advisable, and (iii) approve the issuance of the Bonds by the Authority through a public sale pursuant to the Act to defray the costs of financing the Project (including changes in any details of said financing as finally consummated which do not materially affect the undertaking of the Authority).

Respectfully submitted,

SOUTH CAROLINA JOBS-ECONOMIC
DEVELOPMENT AUTHORITY

(SEAL)

By: 
Harry A. Huntley, Executive Director

Dated: September , 2015

A RESOLUTION APPROVING THE ISSUANCE BY THE SOUTH CAROLINA JOBS-ECONOMIC DEVELOPMENT AUTHORITY THROUGH PUBLIC SALE OF NOT EXCEEDING \$33,000,000 AGGREGATE PRINCIPAL AMOUNT EDUCATION FACILITIES REVENUE BONDS (TCTC FOUNDATION, LLC PROJECT) IN ONE OR MORE SERIES, TAXABLE OR TAX-EXEMPT, PURSUANT TO THE PROVISIONS OF SECTION 41-43-110 OF SOUTH CAROLINA CODE ANNOTATED, TITLE 41, CHAPTER 43 (1976), AS AMENDED

WHEREAS, the South Carolina Jobs-Economic Development Authority ("*Authority*") has heretofore under and pursuant to the provisions of Section 41-43-110 of South Carolina Code Annotated, Title 41, Chapter 43 (1976), as amended ("*Act*"), requested approval by the State Fiscal Accountability Authority of the State of South Carolina of the issuance by the Authority pursuant to the Act of its Education Facilities Revenue Bonds in the aggregate principal amount of not exceeding \$33,000,000 (together, the "*Bonds*") through public sale, as the Authority may determine to be most advantageous; and

WHEREAS, the Authority represents to the State Fiscal Accountability Authority of the State of South Carolina that the Bonds will be sold at public sale in a manner acceptable to the Authority.

NOW, THEREFORE, BE IT RESOLVED, by the State Fiscal Accountability Authority of the State of South Carolina ("*Board*"), as follows:

Section 1. It is hereby found, determined and declared by the Board that: the Petition filed by the Authority contains all matters required by law and the rules of the Board to be set forth therein, and that in consequence thereof the jurisdiction of the Board has been properly invoked under and pursuant to Section 41-43-110 of the Act.

Section 2. In consequence of the foregoing, the proposal of the Authority to issue the Bonds through public sale be and the same is hereby in all respects approved.

Section 3. This Resolution shall take effect immediately.

Minutes of State Fiscal Accountability Authority
October 27, 2015 – Page 11

Executive Director: Revenue Bonds (Blue Agenda Item #6)

The Authority was asked to approve proposals to issue revenue bonds.

Mr. Loftis said that he renewed his objection to the JEDA items. With regard to item 6b for Edgefield County Hospital, Mr. Loftis stated that he had so little information on the item that he could not make a decision on it. Ms. Frannie Heizer, bond counsel, appeared before the Authority on this item. Ms. Heizer said that this is a relatively small issue that will be privately placed. She stated that there is a timing issue involved in that placement with a bank means that the interest rate would be kept open only for 30 days. She said with the Authority's meeting schedule they were not sure they could meet that timeframe. She stated that the goal of Edgefield County is to reduce the term and have a lower interest rate. Ms. Heizer stated to the Authority members that Edgefield County would not go forward with the transaction without there being realistic savings and the goal met of reducing the interest rate while shortening the term. Mr. Loftis asked what the interest rate would be. Ms. Heizer said that the rate is around 4% and that she does not know that the county would want to do the transaction at 4%. She stated for that reason the transaction may not take place until early January 2016 because interest rates at the beginning of the year tend to be a little lower. Mr. Loftis asked what the fees would be for the transaction. Ms. Heizer said depending on the circumstances the fees could be between \$3,500 and \$5,000.

Upon a motion by Senator Leatherman, seconded by Mr. Loftis, the Authority approved the following proposals to issue revenue bond. Governor Haley, Senator Leatherman, and Mr. Eckstrom voted for the item. Mr. Loftis voted against the item.

- a. Issuing Authority: Abbeville County
Amount of Issue: Not Exceeding \$6,000,000 Hospital Facilities Revenue Bonds
Allocation Needed: -0-
Name of Project: Abbeville Area Medical Center
Employment Impact: creation of approximately 20 new jobs
Project Description: the designing, engineering, constructing, furnishing and equipping of a new medical office building for use by the Abbeville Area Medical Center
Bond Counsel: Josiah C. T. Lucas, Pope Flynn, LLC
(Exhibit 6)

- b. Issuing Authority: Edgefield County
Amount of Issue: Not Exceeding \$2,000,000 Hospital Revenue Refunding Bonds

- e. Issuing Authority: Jobs-Economic Development Authority
Amount of Issue: Not Exceeding \$6,500,000 Education Facilities Revenue Bonds
Allocation Needed: -0-
Name of Project: Spartanburg Preparatory School
Employment Impact: currently employs 45 full-time equivalents and expects to create approximately 6 additional, direct FTEs during the next 12/24 months in addition to the temporary construction employment necessary to complete the project
Project Description: add a 30,000 square foot addition that will include 9 classrooms, a new cafeteria, a full gymnasium and a conference room
Note: *public sale*
Bond Counsel: Michael E. Kozlarek, Parker Poe Adams & Bernstein LLP
(Exhibit 10)
- f. Issuing Authority: Jobs-Economic Development Authority
Amount of Issue: Not Exceeding \$33,000,000 Education Facilities Revenue Bonds (\$5,000,000 refunding involved)
Allocation Needed: -0-
Name of Project: Tri-County Technical College Student Success Center
Employment Impact: currently employs 335 full-time equivalents and expects to create approximately 4 additional, direct FTEs during the next 12 months and 6 additional, direct FTEs during the next 24 months, in addition to the temporary construction employment necessary to complete the project
Project Description: 1. Construction of a new Student Success Center to house a Learning Commons and associated group study space and computer labs, campus store, café, and a shopping and receiving facility; 2. Refurbishment of Ruby Hicks Hall after 30 years in service and a repurposing of this facility to become a student one-stop service center; and 3. The construction of a new Central Plant to provide cooling for campus buildings via an energy loop. The Central Plant will reduce energy usage substantially versus a stand-alone system for each building on campus and will reduce maintenance costs, while improving system reliability.
Note: *public sale*
Bond Counsel: Michael E. Kozlarek, Parker Poe Adams & Bernstein LLP
(Exhibit 11)
- g. Issuing Authority: Jobs-Economic Development Authority
Amount of Issue: Not Exceeding \$25,000,000 Health Facilities Revenue Bonds
Allocation Needed: -0-
Name of Project: Wesley Commons
Employment Impact: maintain 272 jobs
Project Description: demolishing and constructing buildings, improvements, fixtures, furnishings and equipment to constitute the following expansions

damage this year he does not see the General Assembly looking favorably upon \$16 million more. Mr. Eckstrom asked if it is known how the Department of Commerce feels about this project. Senator Leatherman said they would probably like to have the project done just as he does; however, he said he does not see the General Assembly providing funding for projects like this with all of the road damage in the State.

Upon a motion by Senator Leatherman, seconded by Mr. Loftis, the Authority approved the following permanent improvement project establishment requests and budget revisions as requested by the Department of Administration, Executive Budget Office. As noted above all items were reviewed favorably by the JBRC.

Establish Project for A&E Design

- (a) Summary 2-2016: JBRC Item 2. Coastal Carolina University
Project: 9609, Soccer Complex
Funding Source: \$75,000 Other, Institutional Capital Project Funds, which are funds generated from excess debt service generated by a \$475 per student per semester fee.
Request: Establish project and budget for \$75,000 (Other, Institutional Capital Project Funds) to begin design work to construct a soccer complex at Coastal Carolina University. This soccer complex will include features for fans, media, and players. The approximately 14,760 square foot facility will be located in the east campus area and will house a playing field for athletes as well as seating and associated spaces for fans and the media. The design will include support facilities, including men's and women's locker rooms, official's locker rooms, meeting rooms, public restrooms and concessions. In addition, proper lighting will be installed for night events as well as a parking lot for team buses and spectators. The current facility provides seating for 500 spectators, and that capacity has proved challenging as the University hosted NCAA playoff events. This new complex will improve the current conditions for the varsity men's and women's soccer teams that are currently lacking support facilities. It will also provide seating for up to 1,000 spectators. A total of 63 players and coaches will use the facility, in addition to over 1,000 students, faculty, spectators and families. These amenities will facilitate Coastal Carolina's ability to serve as a host site for future conference championships.
- (b) Summary 2-2016: JBRC Item 3. Coastal Carolina University
Project: 9610, Brooks Stadium Addition
Funding Source: \$285,000 Other, Renovation Reserve/Plant Expansion Funds, which are funds generated from a \$150 per student per semester fee that is dedicated to renovations, repairs, additions to existing facilities and plant expansion.

- (e) Summary 2-2016: JBRC Item 8. South Carolina State University Public Service Activities
Project: 9651, Charleston 1890 Extension Center Construction - Phase II
Funding Source: \$3,600,274 Federal funds, which are a USDA grant through the 1890 Facility Grants program and can only be used for facility construction associated with the 1890 extension program.
Request: Increase budget to \$3,600,274 (add \$3,562,684 Federal funds) to construct a Public Service Activity Center in Charleston County. This project was established for design work in October 2013, which is now complete. The new two story 12,500 square foot facility will provide safe and functional space for staff, participants and volunteers, who will assist the university in fulfilling its land grant mission of providing research, teaching and extension services to the residents of the state of South Carolina. The facility will house 4 faculty, 6 staff, and 18 students and will serve an estimated 6,628 clients annually. The building will provide state-of-the-art multipurpose rooms, offices, community space, and technological facilities. These facilities are designed to provide life-long learning opportunities while enhancing the economic vitality and well-being of the community. The agency reports total projected cost of this project is \$3,600,274 and additional annual operating costs of \$49,350 are anticipated in association with this project. The facility will be constructed to LEED Silver certification with an estimated cost savings due to LEED of \$122,124 over 30 years. The agency also reports the projected date for execution of the construction contract is February 2016 and the projected date for completion of construction is October 2017. (See attachment 2 for this agenda item for additional annual operating costs.)
- (f) Summary 2-2016: JBRC Item 9. State Board for Technical and Comprehensive Education
Project: 6093, Tri-County – Pendleton Campus Student Success Center/Central Plant
Funding Source: \$20,250,000 Other, Foundation Supported Revenue Bonds, which are revenue bonds that will be issued by the Foundation for this project and will be supported by commitments from the counties, \$17,324,000 Other, Capital Projects Cumulative Maintenance Reserve Funds, which are excess maintenance funds that the institution has accumulated over time in anticipation of this project and \$7,050,000 Other, County funds, which are grants from that the counties which support Tri-County Technical College.
Request: Increase budget to \$44,624,000 (add \$44,000,000 - \$20,250,000 Other, Foundation Supported Revenue Bonds, \$17,000,000 Other, Capital Project Cumulative Maintenance and \$6,750,000 Other, Counties funds) to construct a new Student Success Center, repurpose and refurbish Ruby Hicks Hall, and to construct an associated energy plant on the Pendleton Campus of Tri-County Technical College. This project was established for pre-design in June 2014, which is now complete. New Student Success Center will house a learning commons and associated group study space, computer labs, campus store, café

and shipping and receiving area. The construction of the Student Success Center will allow for swing space to accommodate the renovation of Ruby Hicks Hall, which is currently houses the library and administrative office spaces. Upon renovation, Ruby Hicks will become a One-Stop/Student Services center. Ruby Hicks is 27 years old, and most of the systems are original to the building. A new Central Plant, located in the basement of the Student Services Center, will provide cooling for campus buildings via an energy loop system. Several campus HVAC systems are approaching the end of life and the installation of a new, integrated system will result in energy savings and reduced maintenance costs. Enrollment at Tri-County Technical College has doubled since 2001, and in order to meet student demand for increased instructional space the amount of space dedicated to student support services has steadily declined to the point it is no longer adequate to meet the needs of the student population. The agency reports the total projected cost of this project is \$44,624,000 and additional operating costs ranging from \$60,122 to \$136,302 annually will result from this project. The facility will be constructed to Green Globes Two Globe certification, with an estimated cost savings due to Green Globes of \$2,852,645 over 30 years. The agency also reports the projected date for execution of the construction contract is November 2015 with completion of construction by February 2019. (See attachment 3 for this agenda item for additional annual operating costs.)

Date: February 2, 2016
 Re: Closing Memorandum for the Education Facilities Revenue Bond, Series 2016
 South Carolina Jobs-Economic Development Authority
 (TCTC Foundation, LLC Project)

I. Closing Information

Closing Date: February 2, 2016

Closing Contacts:

Claudia Miller, SC JEDA	803.737.0284
Alan Lipsitz, Nexsen Pruet	803.253.8259
Cara Hamilton, TCTC Foundation	864.646.1797
Grayson Kelly, TCTC Foundation	864.646.1548
Michael Kozlarek, Parker Poe	803.253.8924
Emily Luther, Parker Poe	803.253.6841
Walter Goldsmith, First Tryon Advisors	704.926.2453
Amy Vitner, First Tryon Advisors	704.926.2457
Jason Craddock, South State Bank	864.202.8419
Lindsey Livingston, South State Bank	803.231.3390
Kathy McKinney, Haynsworth Sinkler Boyd	864.240.3243

II. Sources and Uses of Funds

Sources of Funds	
Par Amount up to	\$ 27,920,000.00
Total Sources up to	\$ 27,920,000.00

Uses of Funds	
Project Fund Draw up to	\$ 27,720,000.00
Initial Draw for Cost of Issuance	200,000.00
Total Uses up to	\$ 27,920,000.00

III. Summary of Initial Draw and Project Fund Deposit

On the morning of Tuesday, February 2, 2016, South State Bank will initiate an Initial Draw in the amount of **\$200,000.00** on the Educational Facilities Revenue Bond, Series 2016 (the "Bond"). South State Bank will deposit **\$198,385.50** (**\$200,000.00** less **\$1,614.50** for its direct expenses), into the Project Fund. The amount of Initial Draw is based on the aggregate estimated costs of issuance detailed in Section IV.

IV. Costs of Issuance

Upon deposit of the Initial Draw into the Project Fund on February 2, 2016, the College will disburse funds to make payment against invoices received for services rendered in connection with the issuance of the Bond. Invoices should be submitted to:

Cara Hamilton
 Vice President of Business Affairs
 TCTC Foundation, LLC
 P.O. Box 587
 Pendleton, SC 29670
chamilt5@tctc.edu



Mr. Hashe stated he'd like to highlight that providing unnecessary medications to the inmate population is counterproductive to everything that Sheriff Rick Clark has fought for. He clarified that the efforts the Sheriff has made to obtain mental health grants that help to provide a service to people that cannot get help themselves or cannot afford it. Mr. Hashe stated that the referenced mental health efforts cut down the inmate population and crime in this County by assisting inmates to become productive employees that can add to the tax base for this community. He stated the law only allows a licensed physician to prescribe medication. Mr. Hashe stated that the Sheriff's Office is operating under the best protocols and practices, not only regionally, but across the United States.

Councilman Trey Whitehurst asked Chief Deputy Creed Hashe if Southern Health Partners is performing up to the standards they agreed upon approximately three years ago. Mr. Hashe responded that the complaints have decreased significantly which results in a cost savings, but he would defer to the finance director for an update on the overall financial performance.

Norris Highway Park and Madden Bridge Road Park: Mr. Wilson presented the visual plans for both of the referenced parks. He stated that the Norris Highway Park is scheduled to go out to bid on May 8, 2017 with an anticipated 120 day completion once the bid is awarded.

Mr. Wilson stated, as the Council is aware, the staff is working on a land swap/lease with Clemson University to relocate the entrance to an area that is less topographically challenged on the Madden Bridge Road site. He advised that documents have been submitted to the EPA and anticipates a groundbreaking on Madden Bridge Road Park around mid-June, if everything goes as planned.

Councilman Trey Whitehurst asked if the land swap/lease deal is in place with Clemson University and if all of the other environmental impact items have been cleared. Mr. Wilson responded that they are waiting on a response from EPA in regards to relocating the entrance. Mr. Wilson also responded that all other environmental impact items have been cleared.

South Carolina Appalachian of Governments (ACOG): Mr. Wilson stated that the County has decided to partner with the South Carolina ACOG for assistance in public relations. He clarified that ACOG will consult with members of Staff on current opportunities to strengthen the County's brand. Mr. Wilson advised that Mr. Steve Pelissier, the Executive Director of ACOG, would brief Council during the COW report.

COMMITTEE REPORTS: April 17, 2017 - Committee of the Whole

- b) COMMITTEE RECOMMENDATION: THIRD READING OF ORDINANCE NO. 535 ESTABLISHING PROCEDURES FOR THE ALLOCATION OF PICKENS COUNTY RECREATION FUNDS.

Chairman Roy Costner provided the following report for the Committee of the Whole meeting that was held on April 17, 2017:

The Committee of the Whole met in the Main Conference Room on Monday, April 17, 2017 at 6:00 p.m. All members of the committee were in attendance with Chairman Roy Costner presiding.

Tri-County Technical College Project(s) – Log Item No. 60:

- Gerald Wilson advised the Committee that the decision needed to be made whether to fund the Tri-County Technical College Student Success Center project. If Council chooses to fund the project, Ralph Guarino has provided funding options in a memo included in the COW agenda packet. Mr. Wilson called on Mr. Guarino to outline the two options covered in the referenced [memo](#) dated March 2, 2017.
- Ralph Guarino discussed the below referenced options available to Council:

Option 1: Council could use the amount of money in fund balance to pay the debt service payment each year to T.C.T.C. I've attached an analysis to this memo to show the drawdown of funds from fund balance each year. As you will see from the analysis, in FY 2026 fund balance will drop down to \$330,009 and thereafter revenues will exceed expenditure in the FY 2027 by \$14,948. This analysis assumes a 2% growth in the millage rate and expenditures remaining the same. The debt payment will remain the same throughout the life of the bond at \$441,600 but Physical Plant Operations and Capital Renovation could change over time.

Option 2: Council could issue bonds for the County portion of the project however this would limit the amount of debt Council could issue in the future for possible other projects. At June 30th 2016 the County debt margin (amount the County can issue debt without a voter referendum) was \$34,924,110. If Council issued debt for \$6.8 million this would lower our debt margin to \$28,124,110. With the potential of issuing a bond for the jail for up to \$25 million this would further lower our debt margin to \$4,124,110.

- Ralph Guarino referenced in the memo that his recommendation, if Council chooses to fund the project, would be option 1. This would have no tax increase on the citizens of Pickens County based on his analysis. If the County went with option 2, then the County would have to increase taxes to pay the debt payment each year.
- Councilman Wes Hendricks stated he was in favor of supporting the project and was in favor of Option 1 to fund it. Councilman Hendricks also stated the importance of education and the impact that education would have on future economic development.
- Councilman Trey Whitehurst stated he was not in favor of supporting the project, as this is the State's responsibility. Councilman Whitehurst also stated the cost of the project is too high in comparison to other projects, such as the jail.
- Councilman Ensley Feemster stated the Student Success Center would be more convenient for students going through the registration process.
- Vice Chairman Chris Bowers asked for clarification whether or not the physical plant was the County's responsibility.
 - Ken Roper responded that the County is responsible for operations and maintenance.
- Vice Chairman Chris Bowers asked if Tri-County could argue that the physical plant, approximately \$3.1 million, is the County's responsibility.
 - Ken Roper responded yes.
- Vice Chairman Chris Bowers stated that student success and education at Clemson University and at Tri-County impacts economic development. Additionally he mentioned the proposed fee that would be imposed on Pickens County students if Pickens County did not fund the referenced project. Vice Chairman Bowers stated that Oconee County and Anderson County are funding their portion of the project.
- Chairman Roy Costner stated he agreed with Councilman Trey Whitehurst that this project is the State's responsibility; however, the State will not fund the project and the responsibility falls on the County to ensure economic development growth through providing a work-ready workforce for the industries that choose to operate in Pickens County.
- Councilman Carl Hudson stated that Tri-County does a great job, but the funding of the project is the State's responsibility. He stated it is his understanding that two counties cannot obligate the third county and Tri-County Tech has already issued a bond for this project before receiving approval from the County Council.
- Chairman Roy Costner moved to recommend funding the Tri-County Technical College Student Success Center. Motion was seconded by Councilman Wes Hendricks and passed (4-2), with Councilman Carl Hudson and Councilman Trey Whitehurst opposed.
- Chairman Roy Costner moved to recommend funding the Tri-County Technical College with option 1 (referenced on page 1). Motion was seconded Vice Chairman Chris Bowers and passed (5-1), with Councilman Trey Whitehurst opposed.

- ❖ Committee recommends funding the Tri-County Technical College Student Success Center project by using the fund balance to pay the debt service payment each year (Option 1).

Council Action on Log No. 60:

- During discussion, Councilman Trey Whitehurst stated that he planned to vote against this as this is the State's responsibility and not the County's.

Councilman Carl Hudson agreed with Councilman Trey Whitehurst's statement and stated that this is the State's responsibility and he does not like the process that has been followed with Tri-County already bonding, and proceeding with construction, prior to an affirmative vote from the council.

Councilman Wes Hendricks stated that he planned to vote in favor of funding Tri-County Tech as he sees the importance in education. He stated that he works with children every day and that they are the future. Mr. Hendricks stated that it is very important that we look out for the children that will soon replace the workforce population.

Councilman Ensley Feemster advised that he has abstained from voting on this matter in the past, but he planned to vote tonight based on information he had received from the State Ethics Commission. He clarified that the State Ethics Commission advised him that he can vote as long as no financial benefit is received from doing so. Mr. Feemster further stated that he previously taught at Tri-County Tech for almost twenty years and many of the students are from low-income families. He further stated that he did not want the students to pay the additional fees to Tri-County Tech that would occur if the County did not fund the project.

Vice Chairman Chris Bowers advised that he planned to vote and that he too received information from the State Ethics Commission that it is ethically correct for him to vote on this matter. He clarified that while he does not like the process or the way matters have been handled, that the educational piece is important.

Chairman Roy Costner stated that they can continue to say that the State should do this, but that education and funding Tri-County Tech for this purpose would lead to economic development by creating that workforce. He stated that tomorrow JR Automation is holding a ribbon cutting ceremony and adding new jobs. Mr. Costner stated that the main reason that JR Automation selected Pickens County was because of the ready workforce.

- Motion carried (4-2), with Councilman Trey Whitehurst and Councilman Carl Hudson opposed, to approve the recommendation from Committee to fund the Tri-County Technical College Student Success Center by using the fund balance to pay the debt service payment each year (Option 1).
<End of Council Action>

DESCRIPTION OF INTERIM CAPITAL PROJECTS FOR CONSIDERATION

September 7, 2017

HORRY GEORGETOWN TECHNICAL COLLEGE

PROJECT NAME: Construction of Advanced Manufacturing Center - Georgetown

REQUESTED ACTION: Establish Construction Budget (Phase II)

REQUESTED ACTION AMOUNT: \$13,320,000

INITIAL CHE RECOMMENDATION DATE: December 22, 2016 (Phase I)

<u>Project Budget</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Professional Service Fees	\$180,000	\$812,424	\$992,424
Equipment and/or Materials	\$0	\$3,229,120	\$3,229,120
Site Development	\$0	\$1,185,000	\$1,185,000
New Construction	\$0	\$7,452,000	\$7,452,000
Contingency	\$0	\$641,456	\$641,456
Total	\$180,000	\$13,320,000	\$13,500,000

<u>Source of Funds</u>	<u>Previous</u>	<u>Change</u>	<u>Revised</u>
Capital Reserve Fund	\$0	\$5,000,000	\$5,000,000
Federal EDA Grant	\$0	\$2,785,000	\$2,785,000
Georgetown School District	\$0	\$2,000,000	\$2,000,000
Georgetown County	\$0	\$1,465,000	\$1,465,000
College Funds*	\$180,000	\$2,070,000	\$2,250,000
Total	\$180,000	\$13,320,000	\$13,500,000

*COLLEGE FUNDS ARE EXCESS REVENUES OVER EXPENSES AND INCLUDE LOCAL PENNY TAX PROCEEDS

DESCRIPTION:

HGTC requests to proceed with Phase II for new construction of an Advanced Manufacturing Center on its Georgetown Campus. The project was CPIP priority 1 of 2 for fiscal year 2017. The 30,000 SF building will be constructed on land the college currently owns, and will support the addition of CNC/Machine Tool, Welding, Mechatronics, HVAC and Robotics academic programs and certificates to the Georgetown campus. The project will allow total enrollment in these programs to increase from approximately 20 students to more than 120 students, and address economic workforce development needs. The closest training facility of this type is currently 50 miles from Georgetown, at HGTC's Conway campus.

The College has raised approximately 83% of the project's budget from external sources, including local, federal, and state sources. Phase II is presented \$1.5M higher than the original budget estimate of \$12M due to the increased size of the structure, higher equipment costs, and welding booth ventilation. The project will be built to 2 Green Globe standards.

HGTC has managed its revenues and expenses over the past ten years, with revenues exceeding expenses nine out of the ten years. During this same period, the College's maintenance reserve has increased from \$5,000,000 to \$7,500,000, 50%, while adequately funding maintenance needs on an annual basis through its 5-year plan.

The Office of State Engineer met with the College and design team in early August for a Schematic Design Phase Table Top Review. No issues were discovered as a result of the review.

E&G MAINTENANCE NEEDS:

N/A – New Construction

ADDITIONAL ANNUAL OPERATING COSTS/SAVINGS:

\$75,000/Year for utilities. Additional items that will be absorbed into the annual operating budgets are maintenance and custodial operations, which will be handled by existing staff, and insurance, which is anticipated to be less than \$7,500.

FOR DEPARTMENT USE ONLY	
CHE	_____
JBRC	_____
SFAA	_____
JBRC Staff	_____
ADMIN Staff	_____
A-1 Form Mailed	_____
SPIRS Date	_____
Summary	_____

(For Department Use Only)
SUMMARY NUMBER
FORM NUMBER

PERMANENT IMPROVEMENT PROJECT REQUEST

1. AGENCY Code H59 Name Horry Georgetown Technical College
 Contact Person Harold Hawley Phone (843) 349-5279

2. PROJECT Project # 6128 Name Construction of Advanced Manufacturing Center-Georgetown
 Facility # _____ Facility Name _____

County Code	26 - Horry
New/Revised Budget	\$13,500,000.00

Project Type	2 - Construct Additional Facilities
Facility Type	2 - Program/Academic

3. CPIP PROJECT APPROVAL FOR CURRENT FISCAL YEAR
 CPIP priority number 1 of 2 for FY 17.

4. PROJECT ACTION PROPOSED (Indicate all requested actions by checking the appropriate boxes.)

Establish Project	<input type="checkbox"/>	Decrease Budget	<input type="checkbox"/>	Close Project	<input type="checkbox"/>
Establish Project - CPIP	<input type="checkbox"/>	Change Source of Funds	<input type="checkbox"/>	Change Project Name	<input type="checkbox"/>
Increase Budget	<input checked="" type="checkbox"/>	Revise Scope	<input type="checkbox"/>	Cancel Project	<input type="checkbox"/>

5. PROJECT DESCRIPTION AND JUSTIFICATION

(Explain and justify the project or revision, including what it is, why it is needed, and any alternatives considered. Attach supporting documentation/maps to fully convey the need for the request.)

The College seeks to construct and equip a 30,000 square foot commercial prefabricated metal building on its Georgetown Campus. The building will be used to house the College's Advanced Manufacturing Programs which includes its CNC/Machine Tool, Welding, Mechatronics and Robotics programs. The College has outgrown its existing academic space on this campus and has no available space to operate these high demand, highly skilled programs. With the construction of this facility, the College intends to increase its Advanced Manufacturing enrollment to more than 150 students. Graduates from these programs are in high demand across the State, and have starting salaries well in advance of local averages.

The project has a total budget of approximately \$13,500,000 and the College has raised a total of \$11,250,000 from non-college sources, including \$5,000,000 from State allocated funding, \$2,785,000 in a Federal EDA Grant, and approximately \$3,465,000 from Georgetown County/School District. Horry Georgetown Technical College has the 3rd lowest tuition in the State, has no debt, does not impose any capital fees, and will not raise tuition in any way associated with this project.

6. OPERATING COSTS IMPLICATIONS

Attach Form A-49 if any additional operating costs or savings will result from this request. This includes costs to be absorbed with current funding.

7. ESTIMATED PROJECT SCHEDULE AND EXPENDITURES

Estimated Start Date: January 2017 Estimated Completion Date: June 2019
 Estimated Expenditures: Thru Current FY: \$200,000.00 After Current FY: \$13,300,000.00

8. ESTIMATES OF NEW/REVISED PROJECT COSTS

PROJECT #	6128
------------------	------

- 1. _____ Land Purchase ---->
 - 2. _____ Building Purchase ---->
 - 3. 992,424.00 Professional Services Fees
 - 4. 3,229,120.00 Equipment and/or Materials ---->
 - 5. 1,185,000.00 Site Development
 - 6. 7,452,000.00 New Construction ---->
 - 7. _____ Renovations - Building Interior ---->
 - 8. _____ Renovations - Utilities
 - 9. _____ Roofing - _____ Roof Age
 - 10. _____ Renovations - Building Exterior
 - 11. _____ Other Permanent Improvements
 - 12. _____ Landscaping
 - 13. _____ Builders Risk Insurance
 - 14. _____ Other Capital Outlay
 - 15. _____ Labor Costs
 - 16. _____ Bond Issue Costs
 - 17. _____ Other: _____
 - 18. 641,456.00 Contingency
- \$13,500,000.00 TOTAL PROJECT BUDGET

Land: _____ Acres
 Floor Space: _____ Gross Square Feet
 Information Technology \$445,000.00
 Floor Space: 30,000 Gross Square Feet
 Floor Space: _____ Gross Square Feet

ENVIRONMENTAL HAZARDS	
Identify all types of significant environmental hazards (including asbestos, PCB's, etc..) present in the project and the financial impact they will have on the project. Type: _____	
<u>Cost Breakdown</u>	
Design Services	\$ _____
Monitoring	\$ _____
Abate/Remed	\$ _____
Total Costs	<u>\$ _____ 0.00</u>

9. PROPOSED SOURCE OF FUNDING

Source	Previously Approved Amount	Increase/Decrease	Original/Revised Budget	Transfer to/from Proj. #	Rev Object Code	Treasurer's ID Number	Rev Sub Fund	Exp Sub Fund
(0) CIB, Group			0.00		8115		3043	3043
(1) Dept. CIB, Group			0.00		8115		3143	3143
(2) Institution Bonds			0.00					3235
(3) Revenue Bonds			0.00					3393
(4) Excess Debt Service			0.00					3497
(5) Capital Reserve Fund		5,000,000.00	5,000,000.00		8895		3603	3603
(6) Appropriated State			0.00		8895	68800100	1001	3600
(7) Federal (EDA Grant)		2,785,000.00	2,785,000.00			78800100		5787
(8) Athletic			0.00			88800100		3807
(9) Other (Specify) Georgetown School District		2,000,000.00	2,000,000.00			98800100		3907
Georgetown County		1,465,000.00	1,465,000.00					
College (Note 1)	180,000.00	2,070,000.00	2,250,000.00					
TOTAL BUDGET	\$180,000.00	\$13,320,000.00	\$13,500,000.00					

(1) College funds are excess revenues over expenses and include local penny tax proceeds.

10. SUBMITTED BY: *Hendal Hawley* VP, CFO 6/30/17
 Signature of Authorized Official and Title Date

11. APPROVED BY: _____
 (For Department Use Only) Authorized Signature and Title Date

**ADDITIONAL ANNUAL OPERATING COSTS / SAVINGS
RESULTING FROM PERMANENT IMPROVEMENT PROJECT**

1. AGENCY Code H59 Name Horry Georgetown Technical College

2. PROJECT Project # 6128 Name Construction of Advanced Manufacturing Center - Georgetown

3. ADDITIONAL ANNUAL OPERATING COSTS / SAVINGS. (Check whether reporting costs or savings.)

COSTS SAVINGS NO CHANGE

4.

TOTAL ADDITIONAL OPERATING COSTS / SAVINGS				
Projected Financing Sources				
(1)	(2)	(3)	(4)	(5)
Fiscal Year	General Funds	Federal	Other	Total
1) 2019	\$ 37,500.00	\$	\$	\$ 37,500.00
2) 2020	\$ 75,000.00	\$	\$	\$ 75,000.00
3) 2021	\$ 75,000.00	\$	\$	\$ 75,000.00

5. If "Other" sources are reported in Column 4 above, itemize and specify what the other sources are (revenues, fees, etc.).

6. Will the additional costs be absorbed into your existing budget? YES NO
If no, how will additional funds be provided?

7. Itemize below the cost factors that contribute to the total costs or savings reported above in Column 5 for the first fiscal year.

<u>COST FACTORS</u>	<u>AMOUNT</u>
1. <u>Utilities (electrical, water, sewer, gas)</u>	<u>\$37,500.00</u>
2. _____	_____
3. _____	_____
4. _____	_____
5. _____	_____
6. _____	_____
7. _____	_____
8. _____	_____
TOTAL	<u>\$37,500.00</u>

8. If personal services costs or savings are reported in 7 above, please indicate the number of additional positions required or positions saved. _____

9. Submitted By: *David Hawley* VP-CFO 6/30/17
Signature of Authorized Official and Title Date

PERMANENT IMPROVEMENT PROJECT INFORMATION FORMAT FOR PHASE II CONSTRUCTION BUDGET

1. What is the total projected cost of the project and what is it based on? Please attach a summary of the costs prepared during the A&E pre-design phase to support the total cost.

The total project cost of the project is \$13,500,000. This cost projection is based on the college having built an identical (but smaller) facility on its Conway Campus. The increased cost of this project (versus that in Conway) is that this proposed structure is 5,000 square feet larger and this project includes equipment.

Costs:

Professional Services Fees	\$992,424
Equipment	\$3,229,120
Site Development	\$1,185,000
New Construction	\$7,452,000
Contingency	\$641,456
Total	\$13,500,000

2. What is/are the source(s) of funds for the construction? If any private or federal funds are included, please attach a letter guaranteeing the availability of the funds.

The source of funds for construction are as follows:

Capital Reserve Fund	\$5,000,000
Federal EDA Grant	\$2,785,000 (see attached award letter)
Georgetown County School District	\$2,000,000 (see attached award letter)
Georgetown County	\$1,465,000 (see attached award letter)
College Funds	\$2,250,000

College funds are defined as the excess of revenues over expenses and include the local one-cent educational capital sales and use (penny) tax.

3. What is your agency/institution's definition of each fund source to be used for construction? (If any type of fee makes up a portion of the source, what is the fee called, what is the fee amount, and when it was put in place. If there is a statutory authority authorizing the use of the funds for capital projects, please cite the code section.)

Definitions of funds sources are self-explanatory (see above). Please note that College funds are defined as the excess of revenues over expenses and include the local one-cent educational capital sales and use (penny) tax.

4. What is the current uncommitted balance of funds for each source listed in 3 above?

\$10,000,000

5. If institution or revenue bonds are included as a source, when were the bonds issued? If not issued yet, when is the bond resolution expected to be brought for State Fiscal Accountability Authority approval

N/A

6. If a student fee is used to fund debt service, what is the current amount of the fee annually or by semester? Please specify which.

N/A

7. Will the use of any funds for construction require an increase in any student fee or tuition? If so, please explain in detail.

No. There will be no tuition increase or student fee imposed for construction of this project.

8. Will the project be LEED certified for energy savings and conservation and if so, at what level will it be certified? For projects requiring or using LEED certification, please attach the required cost- benefit analysis and a checklist of items to be used to achieve LEED points or a description of the energy measures to achieve LEED.

No. Green Globes (worksheet)

9. What energy savings/conservation measures will be implemented within the project if the project will not be LEED certified? For projects that do not require/use LEED, please provide a paragraph on energy savings measures to be implemented as part of the project. If there are no energy savings measures included, please state that and explain why.

N/A

10. What is the projected date (month and year) for execution of the construction contract?

November 2017

11. What is the projected date (month and year) for completion of construction?

June 2019

12. What program(s) are to be included in the constructed or renovated space?

The building will be used to support the College's Advanced Manufacturing Programs which consists of Welding, CNC/Machine Tool, Mechatronics, Robotics and HVAC Programs.

13. What is the total square footage of the building to be renovated or constructed?

30,000 square feet

14. If a portion of the building is to be renovated, what is the square footage of the portion that will be included in the renovation?

N/A

15. What is the current age of the building or building systems to be renovated?

N/A

16. If any new space is being added to the facility, please provide demand/usage data to support the need.

N/A

17. What are the estimated numbers of students, faculty, staff and/or clients that are expected to use the space affected by the project or the entire building? (Answer for as many as are applicable.)

The facility will be used by more than 125 students and approximately 5 faculty.

18. If the construction cost increased significantly from the internal estimate (30% or more), what factors caused the cost to increase?

The cost increase from the internal projected cost of \$12,000,000 to \$13,500,000 was due primarily to increased costs associated with ventilating the welding booths, and significantly increased equipment costs.

19. If the contingency is more than 10%, please explain why.

N/A

20. If funds are being transferred from another project, what is the current status of the project from which funds are being transferred?

N/A

21. Has the project been included in a previous year's CPIP? If so, what was the last year the project was included and for which year, 1-5?

Yes. The project was included in the 2017 CPIP as a year 1 and is also included in the 2018 CPIP as a year 1 project.

22. What are the economic impacts of the project, including job creation and retention?

If there are none, please explain. The construction of the facility will naturally increase jobs, but the exact number and extent cannot be measured with any precision. As a result, the project, the College will also increase its enrollment from approximately 20 students to more than 125 students in the Advanced Manufacturing programs. Graduates from these programs earn salaries well in excess of local averages and are marketable throughout the State and in a variety of industries.

23. How will your agency/institution address and fund maintenance of this facility construction/renovation?

The annual maintenance needs of the new structure will be identified and funded through the College's annual maintenance planning and budgeting process. Any maintenance needs identified through the annual planning process will be fully funded by setting aside sufficient resources from the College's Plant fund to ensure those needs are consistently met.

24. If your agency/institution has a deferred maintenance account, what is the name of the account and what is its current uncommitted balance?

The College has no formal "deferred maintenance" account. Instead, the College develops a rolling 5-year maintenance plan each year, and sets aside funds to ensure that those maintenance needs are fully funded. The estimated annual maintenance cost of the proposed facility will be included into this annual budgeting process and funds will be set aside annually to accomplish all required maintenance needs. Approximately \$7.5 million are currently set aside for future maintenance needs over the next 5 years.

25. If how maintenance will be addressed and funded for this facility construction/renovation has not been determined yet, what steps are in place to begin to address how your agency/institution will fund maintenance to this and other agency/institution facilities?

N/A



UNITED STATES DEPARTMENT OF COMMERCE
Economic Development Administration
Atlanta Regional Office
Suite 1820
401 West Peachtree St., N.W.
Atlanta, Georgia 30308-3510

SEP 16 2016

In reply refer to:
Investment No. 04-79-07156

Neyle Wilson, President
Horry Georgetown Commission for Technical
Education d/b/a Horry Georgetown Technical College
2050 Highway 501 East
Conway, South Carolina 29528

Dear Mr. Wilson:

I am pleased to inform you that the Department of Commerce's Economic Development Administration (EDA) has approved your application for a \$2,785,000 EDA investment to construct a building to be dedicated to advanced manufacturing training on Horry-Georgetown Technical College campus.

Enclosed are two signed copies of the Financial Assistance Award. Your agreement to the terms and conditions of the award should be indicated by the signature of your principal official on each of the signed copies of the Financial Assistance Award. One of the executed copies should be returned to H. Philip Paradise, Jr., Regional Director, Atlanta Regional Office, Economic Development Administration, 401 West Peachtree Street, N.W, Suite 1820, Atlanta, Georgia 30308-3510. If not signed and returned within 30 days of receipt, EDA may declare the Award null and void.

Please do not make any commitments in reliance on this award until you have carefully reviewed and accepted the terms and conditions. Any commitments entered into prior to obtaining the approval of EDA in accordance with its regulations and requirements will be at your own risk.

EDA's mission is to lead the federal economic development agenda by promoting innovation and competitiveness, preparing American regions for growth and success in the worldwide economy. EDA implements this mission by making strategic investments in the nation's most economically distressed communities that encourage private sector collaboration and creation of higher-skill, higher wage jobs. EDA investments are results driven, embracing the principles of technological innovation, entrepreneurship and regional development.


I share your expectations regarding the impact of this investment and look forward to working with you to meet the economic development needs of your community.

Sincerely,

H. Philip Paradise, Jr.
Regional Director

Enclosures: Form CD-450 Financial Assistance Award (2)
Exhibit A – Special Award Conditions
Attachment No. 1 – Form ED-508 Budget
EDA Standard Terms and Conditions for Construction Projects, dated February 12, 2016



FORM CD-450 (REV. 12-14)		U.S. DEPARTMENT OF COMMERCE	
FINANCIAL ASSISTANCE AWARD		<input checked="" type="checkbox"/> GRANT <input type="checkbox"/> COOPERATIVE AGREEMENT	
		FEDERAL AWARD ID NUMBER 04-79-07156	
RECIPIENT NAME Horry Georgetown Commission for Technical Education d/b/a Horry Georgetown Technical College		PERIOD OF PERFORMANCE 45 months after date of EDA approval	
STREET ADDRESS 2050 Highway 501 East		FEDERAL SHARE OF COST \$ 2,785,000.00	
CITY, STATE, ZIP CODE Conway, South Carolina 29528		RECIPIENT SHARE OF COST \$ 5,965,000.00	
AUTHORITY Public Works & Economic Development Act of 1965, as amended		TOTAL ESTIMATED COST \$ 8,750,000.00	
CFDA NO. AND NAME 11.307 Economic Adjustment Program			
PROJECT TITLE Building Construction			
<p>This Award Document (Form CD-450) signed by the Grants Officer constitutes an obligation of Federal funding. By signing this Form CD-450, the Recipient agrees to comply with the Award provisions checked below and attached. Upon acceptance by the Recipient, the Form CD-450 must be signed by an authorized representative of the Recipient and returned to the Grants Officer. If not signed and returned without modification by the Recipient within 30 days of receipt, the Grants Officer may unilaterally withdraw this Award offer and de-obligate the funds.</p> <p><input type="checkbox"/> DEPARTMENT OF COMMERCE FINANCIAL ASSISTANCE STANDARD TERMS AND CONDITIONS (DECEMBER 2014)</p> <p><input type="checkbox"/> R & D AWARD</p> <p><input type="checkbox"/> FEDERAL-WIDE RESEARCH TERMS AND CONDITIONS, AS ADOPTED BY THE DEPT. OF COMMERCE</p> <p><input checked="" type="checkbox"/> SPECIAL AWARD CONDITIONS (see attached Exhibit "A")</p> <p><input checked="" type="checkbox"/> LINE ITEM BUDGET (see Attachment No. 1)</p> <p><input checked="" type="checkbox"/> 2 CFR PART 200, UNIFORM ADMINISTRATIVE REQUIREMENTS, COST PRINCIPLES, AND AUDIT REQUIREMENTS, AS ADOPTED PURSUANT TO 2 CFR § 1327.101</p> <p><input checked="" type="checkbox"/> 48 CFR PART 31, CONTRACT COST PRINCIPLES AND PROCEDURES</p> <p><input type="checkbox"/> MULTI-YEAR AWARD. PLEASE SEE THE MULTI-YEAR SPECIAL AWARD CONDITION</p> <p><input checked="" type="checkbox"/> OTHER(S): <u>EDA Standard Terms and Conditions for Construction Projects, dated February 12, 2016</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>			
SIGNATURE OF DEPARTMENT OF COMMERCE GRANTS OFFICER		DATE	
		9-16-16	
H. Philip Paradice, Jr., Director, Atlanta Regional Office		DATE	
PRINTED NAME, PRINTED TITLE, AND SIGNATURE OF AUTHORIZED RECIPIENT OFFICIAL			
Neyle Wilson, President, Horry Georgetown Commission for Technical Education d/b/a Horry Georgetown Technical College			

ADMINISTRATION ELECTRONIC FORM

Georgetown County School District

J.B. BECK ADMINISTRATION AND EDUCATION CENTER
2018 CHURCH STREET • GEORGETOWN, S.C. 29440 • PHONE (843) 436-7000



November 17, 2016

To Whom It May Concern:

Please be advised that the bond referendum approved by the voters of Georgetown County on November 8, 2016, included an allocation of \$2,000,000 for EQUIPMENT PURCHASES for the Advanced Manufacturing Center. The process and/or procedure by which the equipment will be procured has not been determined at this time.

If you should have any questions or need further assistance, please feel free to contact me at (843) 436-7175.

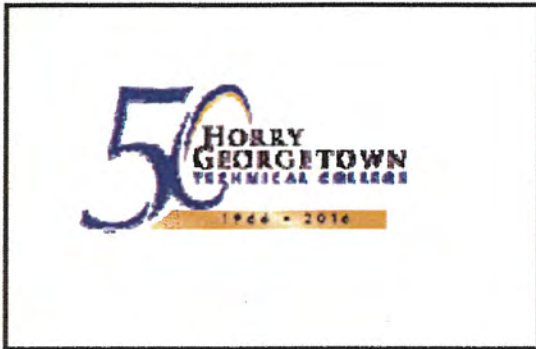
Sincerely,

H. Randall Dozier, Ph.D.
Superintendent
Georgetown County School District

HRD:jh

ADVANCED MANUFACTURING CENTER

Georgetown, SC 29440



GRADES:

Building Size 27,000 SF

2015-2016
Enrollment

Originally Built Fall 2016

Additions N/A

OVERALL ANALYSIS

This facility will be a 27,000 square foot building built in partnership with Horry Georgetown Technical College. The focus of this center will be to meet the industry demands for skilled workers in the areas of advanced welding technology, CNC/Machine tool, robotics and mechatronics.

MAJOR CONCERNS

RECOMMENDATIONS

ALLOWANCES \$2,000,000

- Equipment purchases

TOTAL PROJECTED COST

\$ 2,000,000



Founded 1769

January 24, 2017

H. Neyle Wilson, President
Horry Georgetown Technical College
Post Office Box 261966
Conway, SC 29528

Dear President Wilson;

Georgetown County has shared a cooperative partnership with Horry Georgetown Technical College for several years in an effort to address specific needs within our local community. Georgetown County Council is supportive of plans for construction of an advanced manufacturing training facility on Horry Georgetown Technical College - Georgetown Campus, and a further opportunity to work together in providing resources and assistance to our citizens.

May this letter stand to confirm Georgetown County's endorsement of this project, and that Georgetown County Council, acting within its authority, does hereby commit \$1.5 million in funding for the construction of the Advanced Manufacturing Training Center on the Georgetown Campus. It is anticipated that this funding will be available no later than June 30, 2019.

I trust that you will contact me if I may be of further assistance to you in this regard.

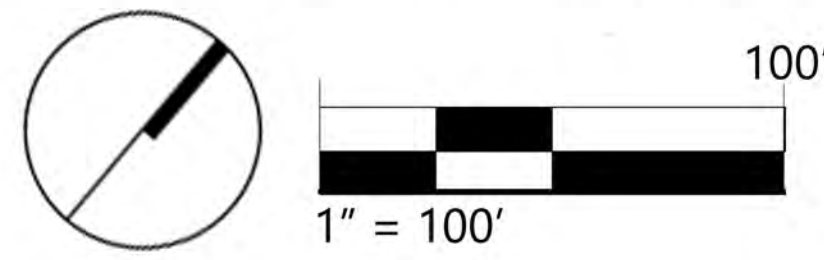
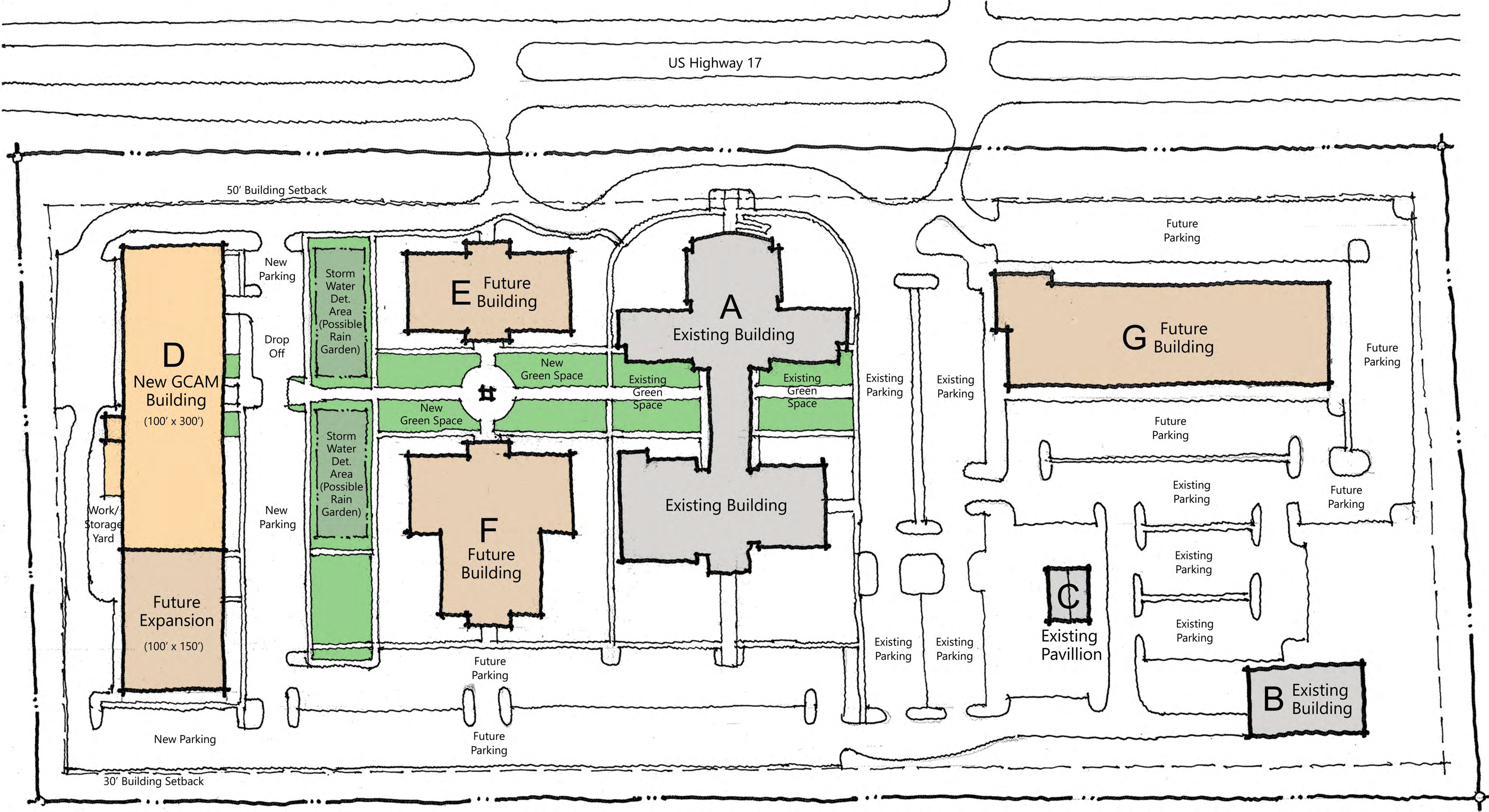
Cordially,

Johnny Morant
Chairman

Georgetown County Council
716 Prince Street
Georgetown, South Carolina 29440
Telephone 843.545.3058
Fax 843.545.3127

GEORGETOWN CAMPUS - FUTURE MASTER PLAN

AUGUST 2017



Existing Buildings

- A - Main Building
- B - Training Center
- C - Wildlife Pavillion
- D - New Georgetown Center for Advanced Manufacturing (GCAM)

Future Buildings

- E - Proposed Academic Building up to 12,250 sq.ft.
 - F - Proposed Academic Building up to 23,850 sq.ft.
 - G - Proposed Academic Building up to 32,500 sq.ft.
- Note: Future Parking to be Installed to Accomodate.gg

**HGTC - Georgetown Center for Advanced Manufacturing
Total Cost (Construction & Owner Reserves Costs) Summary**

6/28/2017

Construction Costs

Building Cost - 30,000 s.f.	\$ 6,452,000
Site Cost	\$ 1,185,000
Construction Costs Subtotal	\$ 7,637,000
Contingencies/Escalation	\$ 1,000,000
Construction Costs Total	\$ 8,637,000

Phase I Design Fees \$ 156,000

Phase II Design Fees

Architectural, Structural, Mechanical, Electrical, Plumbing, Cost Estimator, Site/Civil Engineer, Landscaping \$ 578,424

Additional Services

Irrigation Design		\$ 5,000
Green Globes Design (Estimated)	(Includes Achitectoral, Civil & MEP Design Fees)	\$ 30,000
Reimbursables (Estimated)		\$ 28,000

Fees Total \$ **797,424**

Owner Reserves

Owner Reserves - Phase I Design	Survey, Environmental & Engineering Services	\$ 16,000
	Subsurface Exploration	\$ 8,000
Owner Reserves - Phase II Design		
	Building Commissioning	\$30,000
	Green Globes Registration	\$13,000
	Chapter 1 & 17 Inspections	\$60,000
	Appliances	\$5,000
	Capacity Use Fee (water connection)	\$40,000
	Sanitary Sewer Service Connection Fee	\$10,000
	Fire Line Service Connection Fee	\$40,000
	Welding, Machine Tool, CNC, Mechatronics Equipment, IT & Furniture	\$3,229,120
Project Contingency		\$615,000
Owner Reserves Total		\$4,066,120
Total Funding for the Project		\$ 13,500,544



611 BURROUGHS & CHAPIN BOULEVARD, SUITE 202
MYRTLE BEACH, SC 29577 | 843.839.3545
WWW.THOMASANDHUTTON.COM

June 29, 2017

ADW Architects
Phillip Steele
2815 Coliseum Centre Drive, Suite 500
Charlotte, NC 28217

Re: Horry Georgetown Technical College
Georgetown Center for Advanced Manufacturing
Schematic Design Summary
26741.0000

Mr. Steele,

We are pleased to submit for review and comment a schematic site design for the planned Georgetown Center for Advanced Manufacturing at the HGTC Georgetown campus. We look forward to advancing the project and have provided a summary of issues that will need to be addressed moving forward:

Driveway Access to Existing Parking Lot:

The schematic design shows the connection at the south corner of the existing lot where three storage sheds would require relocation. This alignment would also require relocation of an overhead electric pole and guy wire. We understand that the owner will be evaluating the connection location at the July 10 meeting on-site.

Pedestrian Walkway Connection:

The pedestrian walkway is shown coming straight out of the building entrance to align with the courtyard of the existing building as shown in the campus masterplan. This location puts it in conflict with one of the curb cuts and drainage ditches coming southwest from the existing parking lot to the existing drainage ditch. We recommend that the walkway line up with the curbed peninsula in the existing parking lot and an ADA ramp installed at the nose. To accomplish this the building could be shifted to the north or south to avoid conflict with the curb cut, or the walkway could be curved / jogged to the southwest to line up with the peninsula. We suggest that the walkway location and connection through the existing parking lot be evaluated along with the driveway access location at the July 10 meeting.

Preliminary Stormwater Analysis:

Initial evaluation of the pre- and post-development site conditions indicates that some additional pond area may be required to meet regulations. The pre-development runoff from the site is very low given the flat, wooded nature of the site. Pond areas will likely be revised pending resolution of the walkway and driveway access.

Concrete Pavement:

All pavement in the schematic design is shown as asphalt pavement. We will need to coordinate any locations where concrete pavement may be required or desired, for example for dumpster pads or at the bus drop off location.

Utility Connections:

Schematic connection locations for water and sewer are shown with connections at the western building corner. We will revise these locations as necessary to coordinate with the interior of the building.

Please let us know if you have any questions or if we can clarify any of the information above.

Regards,

Matt Straughan, P.E.

Cc: Sean Flynn, P.E.

STRUCTURAL DESIGN CRITERIA NARRATIVE

South Carolina's State Building code will be used for design, which incorporates the 2015 International Building Code with South Carolina changes as well as ASCE/SEI 7-10 and other referenced codes from AISC, ACI, etc.

Gravity Loads:

The roof structure will be designed for the actual construction material weight of the structure as well as a superimposed dead load for several RTU's in addition to the roof dead and live loads. Building skin loads are assumed to be light (less than 20 psf) and consist of non-load bearing curtainwall construction. Any heavy exterior elements will be structurally supported.

Floor live loads consist of the following:	<u>Uniform</u>	<u>Concentrated</u>
Restrooms, Lobbies	100 psf	2000 lbs.
Office	50 psf	2000 lbs.
Corridors	100 psf	2000 lbs.
Classrooms/Labs	60 psf	1000 lbs.
Mechanical/Electrical/Storage Rooms:	150 psf	N/A

The minimum roof live load used will be 20 psf (reducible).

Seismic Loads:

The building will be designed using the following seismic loads, as generated from the geotechnical report generated from S&ME for a mapped spectral response acceleration at short period (Ss) of 0.77g and a mapped spectral response acceleration at a 1-second period (S1) of 0.26g. Per exception taken from ASCE/SEI 7-10, a site class D is noted in S&ME's report:

Risk Category	II
Importance Factor (I)	1.0
Mapped spectral response accelerations	Ss 77.0%g
	S1 26.0%g
Site Class	D
Spectral Response Coeff.	Sds 61.2%g
	Sd1 32.6%g
Seismic Design Category	D
Basic Structural System	Building Frame Systems
Seismic Resisting System	Structural steel systems not specifically detailed for seismic resistance.
Seismic Response Coeff.	Cs 0.204
Response Modification Factor	R 3
Analysis Procedure	Equivalent Lateral-Force Analysis

Base Shears are unknown at this time.

Wind Loads:

The wind loads are generated from a basic wind speed of 146 MPH (Ultimate) for a 3-second gust wind speed and Category C exposure with the following wind design data for Risk Category II:

Basic Wind speed	146 MPH (Ultimate) 113.1 MPH (Nominal)
Exposure Category	C
Enclosure Classification	Enclosed Building
Internal pressure Coefficient	+/-0.18 (TBD)
Directionality (Kd)	0.85

Base Shears are unknown at this time.

Materials:

1. All materials shall conform to 2015 IBC standards.
2. Hardrock aggregate: ASTM C33M.
3. Minimum 28-day concrete compressive strength, normal weight concrete:
 - a. Cast-in-place foundations, grade beams: 4,000 psi
 - b. Slabs-on-grade: $f'c = 4,000$ psi
4. Reinforcing steel: ASTM A615M, Grade 420
5. Welded wire fabric: ASTM A185M
6. Steel:
 - a. Wide Flange Shapes: ASTM A992 or A572, Grade 50
 - b. Tube Shapes: ASTM A500, Grade C
 - c. Pipe Shapes: ASMT A53, Grade B
 - d. Other misc. steel (plate, angles, etc.): ASTM A36
7. Structural bolts: ASTM A325
8. Anchor rods: ASTM F1554 (36 or 55 ksi)

Shallow Foundation System:

The foundation design is based on an allowable soil bearing pressure of 2,500 psf on natural soils structural fill for wall footing/column design. These foundation parameters are taken from the Report of Geotechnical Exploration for HGTC AMC Building by S&ME (S&ME Project No. 1463-17-015), dated May 30, 2017.

Column will be supported by isolated, shallow, reinforced concrete footings, bearing a minimum of 12" below finished exterior grades. Top of exterior & interior footings will be -1'-6" and -1'-0" BFF, respectively. Exterior walls system will be supported by thickened slab grade beams.

Due to the site being a Seismic Design Category D, the footings will be required to be tied via grade beams under the slab.

Geo-Composite Drains will be investigated as a system to improve the site soil conditions in order to help mitigate the site's potential to earthquake-related settlement potential due to liquefaction.

The ground floor will be a soil-supported, reinforced concrete slab-on-grade system with 4" & 6" slabs used under more lightly loaded areas and 10" slabs used under more heavily loaded areas. Per the geotechnical report, the allowable bearing pressure is 2,500 psf and the modulus of subgrade reaction, k, is 250 pci for the slab design for slabs supported on well-compacted sandy soils. A reduced modulus will be used for wide area loads.

The slab will be supported by a 4- to 6-inch layer of #57 or #67 clean stone fill over compacted subgrade.

Structural Building Framing System:

The AMC building will consist of a rectangular shaped, single-story steel-framed building.

The structural roof system will consist of wide flange steel exterior spandrel girders and interior wide flange steel girders along the building's longitudinal centerline. Steel joist girders will span the transverse direction between columns. The girders and joist girders will provide support for steel roof joists, which provide support for 1.5" x 20GA, Type B metal roof deck (galvanized). 10" square exposed hollow structural steel tubes will provide support.

The ground floor will consist of a reinforced concrete slab-on-grade.

The walls will be a curtainwall system and will consist of a non-load bearing, cold-formed metal stud backup wall for providing support to a veneer/exterior skin system. Secondary framing at doors and windows will also be cold-formed metal. Horizontal steel beams will provide lateral support at window/door headers/sills where studs do not continue to the roof. The studs will by-pass the exterior roof framing to form a short parapet wall.

The south end of the building will be designed for future building expansion.

The wind and seismic force resistance system for the building will be resisted by concentric, vertical steel brace frames in each direction along column grid lines with roof loads transmitted thru the roof deck diaphragm.

A Statement of Special Inspections will be provided.



**GEORGETOWN
CENTER for
ADVANCED
MANUFACTURING**

SCHEMATIC DESIGN

**OSE PROJECT #:
H59-6128-CA**

ARCHITECTURAL SITE
PLAN

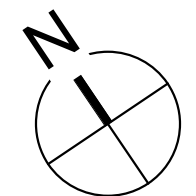
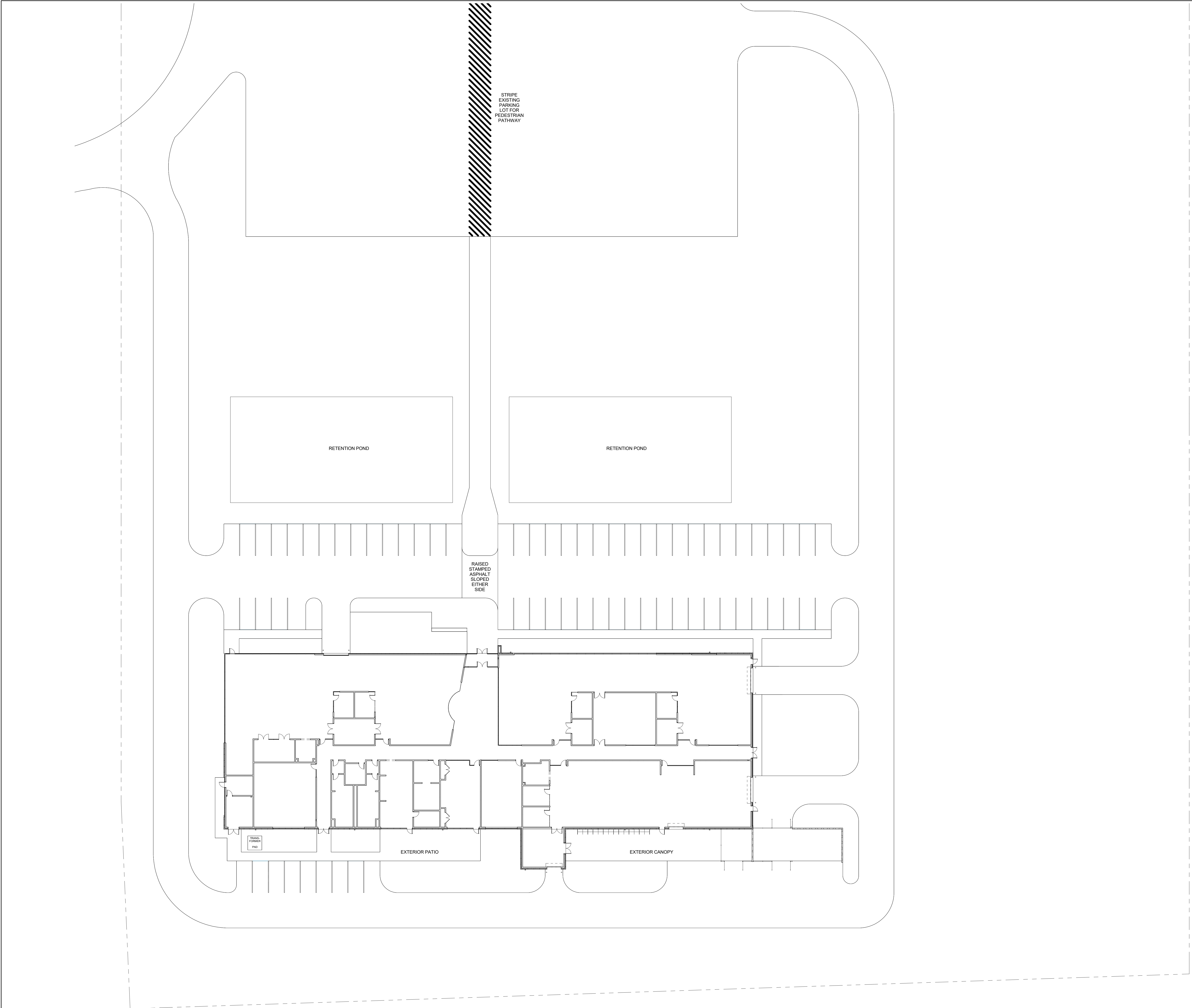
DATE: 06-28-17
PROJECT NO: 17006

REVISIONS
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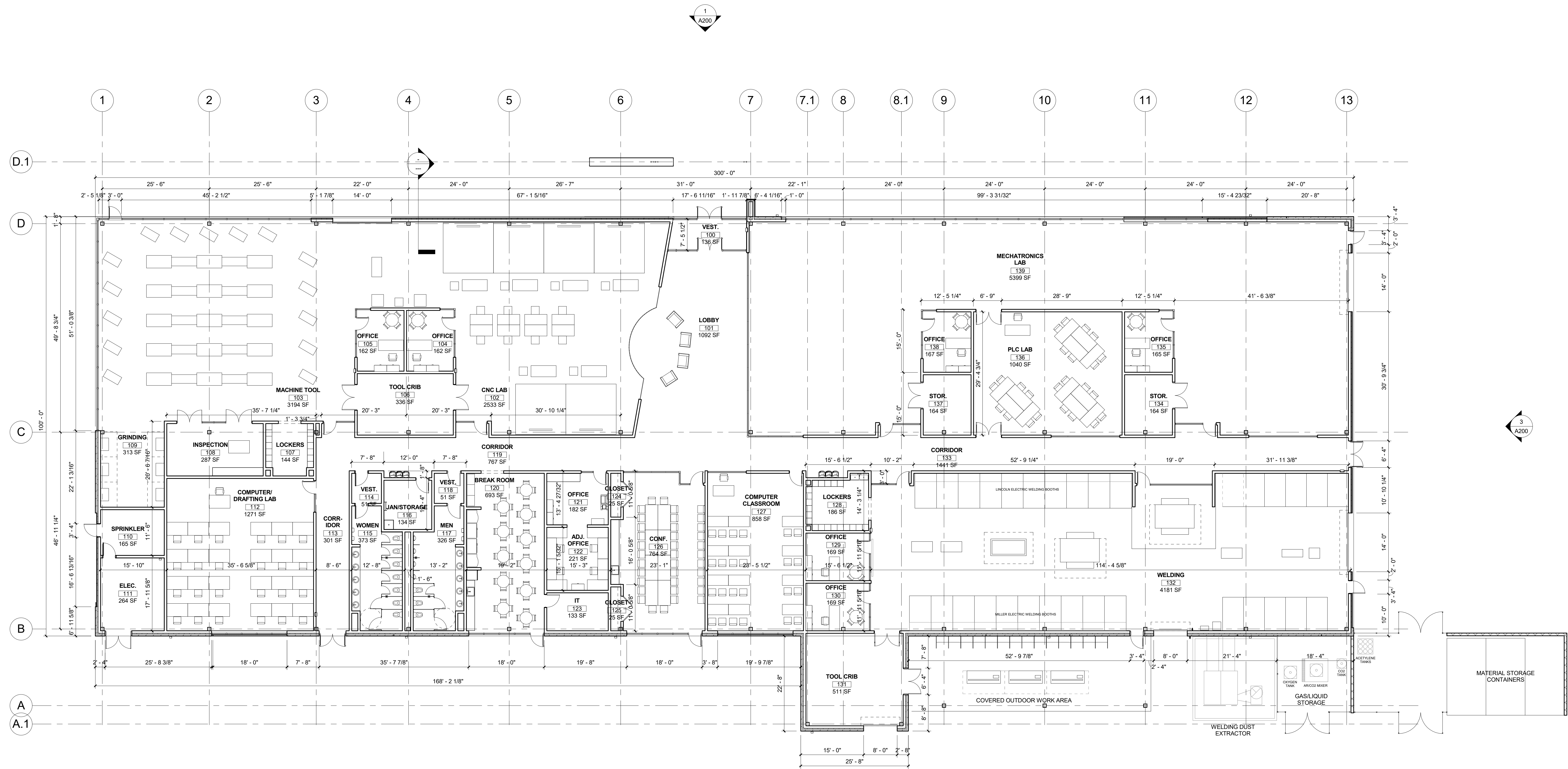
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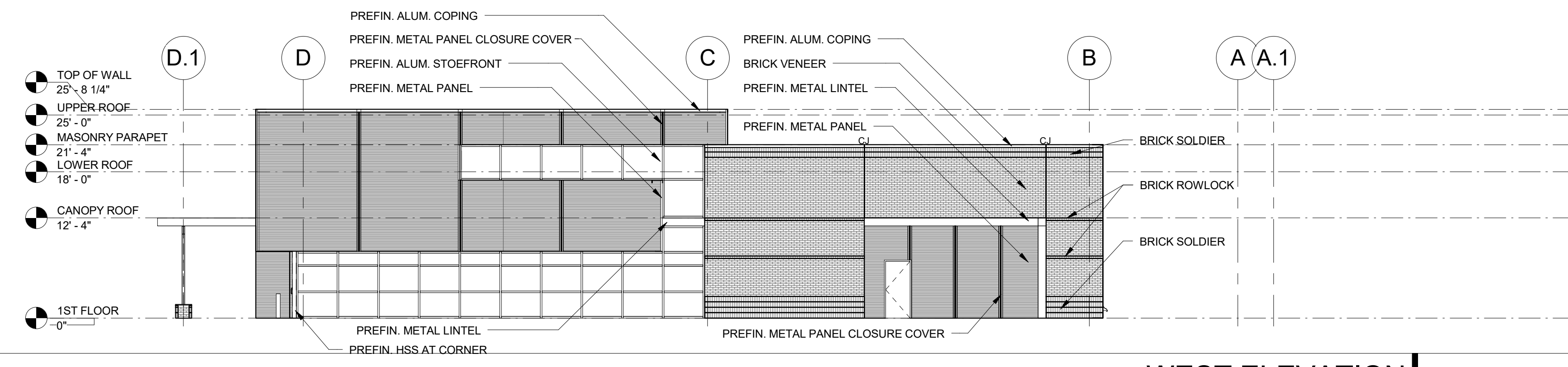
C200



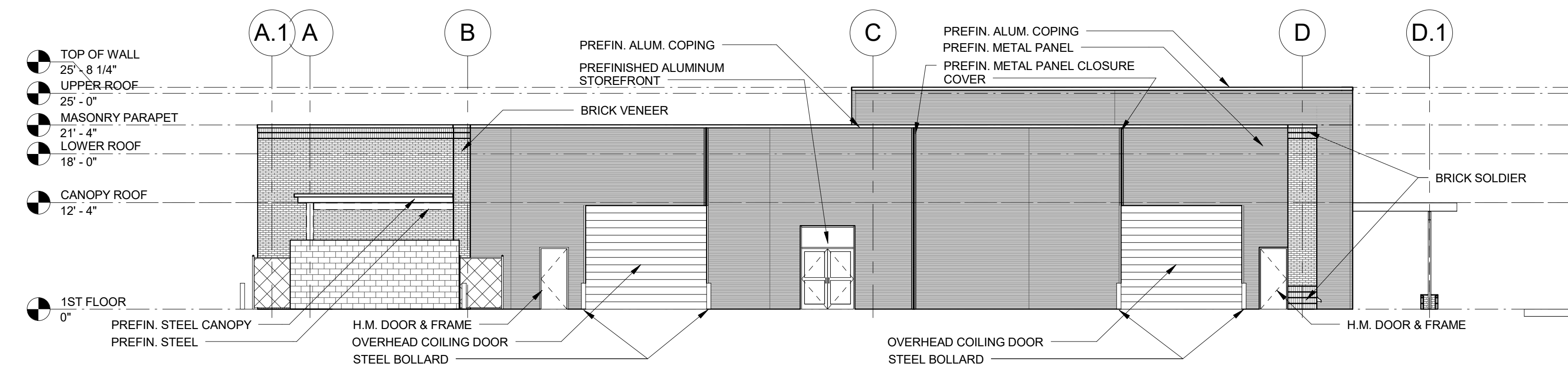
GENERAL SHEET NOTES

- ALL ARCHITECTURAL COMPONENTS ARE TO BE ATTACHED AS REQUIRED BY ASCE 7-05 CHAPTER 13 SEISMIC DESIGN FOR NONSTRUCTURAL COMPONENTS. EACH INDIVIDUAL CONTRACTOR RESPONSIBLE FOR THE COMPONENT MUST PROVIDE PROJECT SPECIFIC DESIGN AND DOCUMENTATION PREPARED BY A LICENSED ENGINEER. CHAPTER 13 DEFINES THE FORCE REQUIRED TO SUPPORT THE COMPONENT FOR THE ANCHORAGE AND BRACING. THE COST OF PREPARING THIS INFORMATION AND DESIGN SHALL BE INCLUDED IN EACH CONTRACTOR'S BID PROVIDING THE COMPONENT.
- FIELD VERIFY ALL CONDITIONS. GENERAL CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK AFFECTED BY SUCH DISCREPANCY.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
- PROVIDE ADDITIONAL BLOCKING WITHIN STUD WALLS AS REQUIRED FOR SUPPORT OF CABINETS, SHELVING, WALL STOPS, COUNTERTOPS, MARKERBOARDS, TACKBOARDS, AV EQUIPMENT AND SIMILAR.
- PLACE CONTROL JOINTS IN SIDEWALK AND PAVING PER MINIMUM REQUIREMENTS STATED IN CIVIL DOCUMENTS. GENERAL LAYOUT TO BE COORDINATED BY G.C.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O.

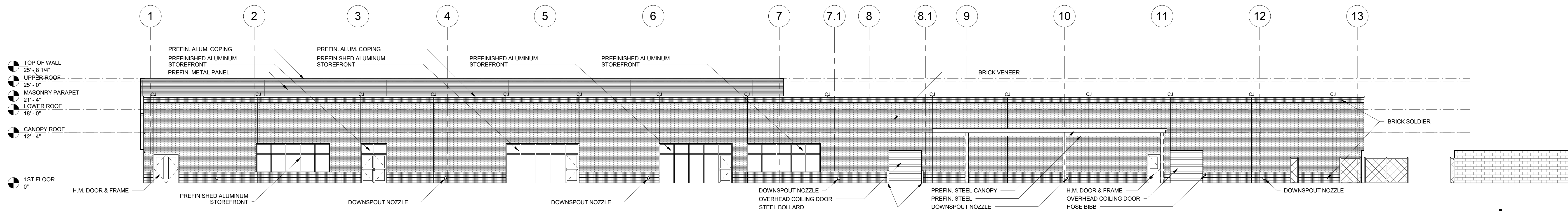




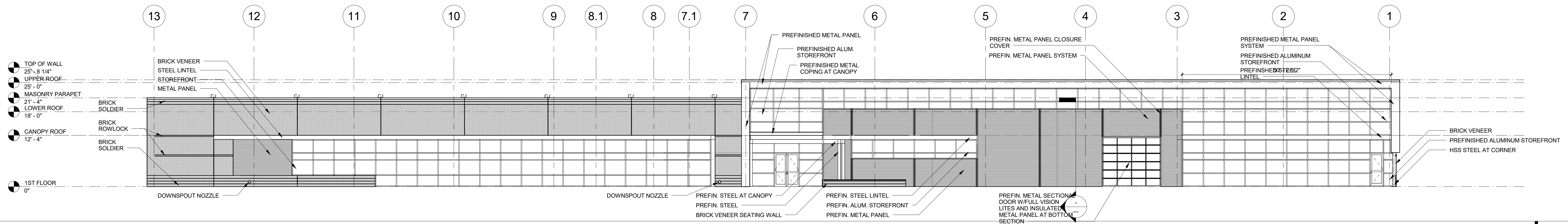
WEST ELEVATION | 3/32" = 1'-0" | 4



EAST ELEVATION | 3/32" = 1'-0" | 3



SOUTH ELEVATION | 3/32" = 1'-0" | 2



NORTH ELEVATION | 3/32" = 1'-0" | 1



GEORGETOWN CENTER for ADVANCED MANUFACTURING

SCHEMATIC DESIGN

OSE PROJECT #: H59-6128-CA

EXTERIOR ELEVATIONS

DATE: 06-28-17
PROJECT NO: 17006

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SHEET NUMBER

A200

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CENTER



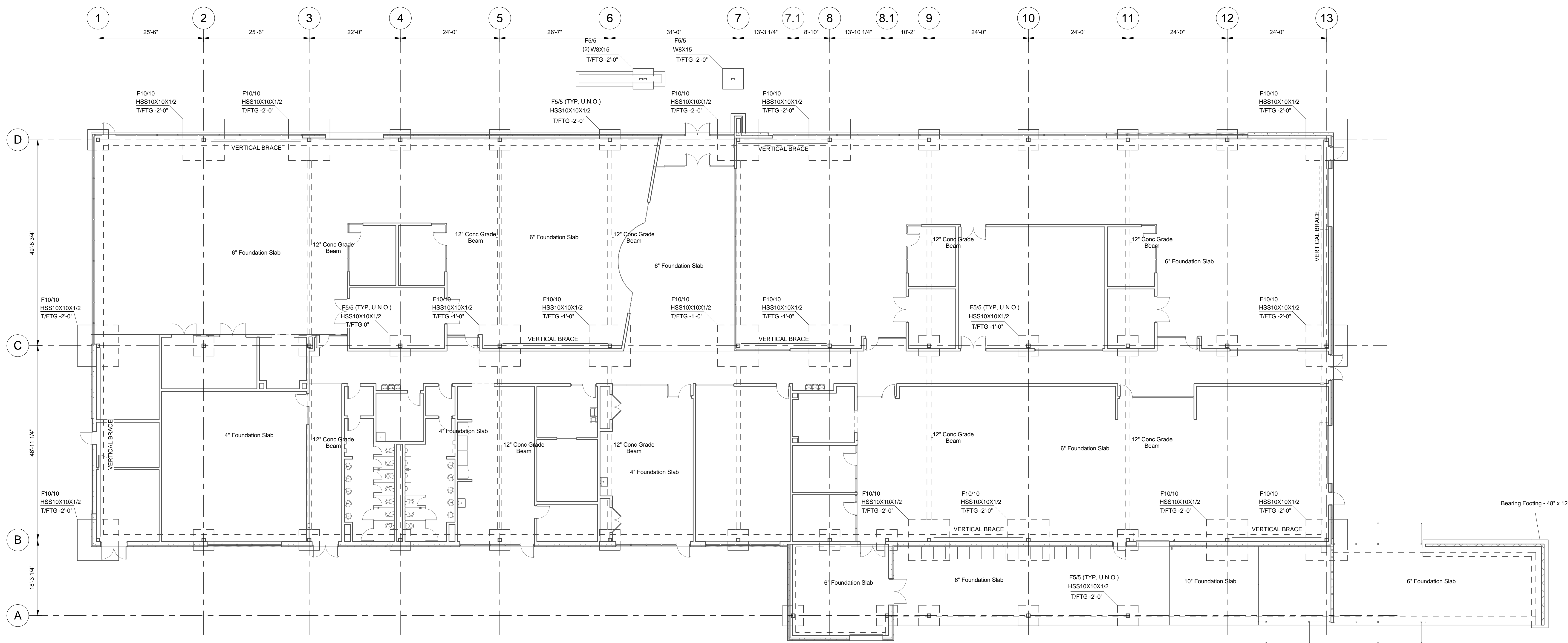
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H59-6128-CA

FOUNDATION PLAN

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PROJECT NO: 00000.00

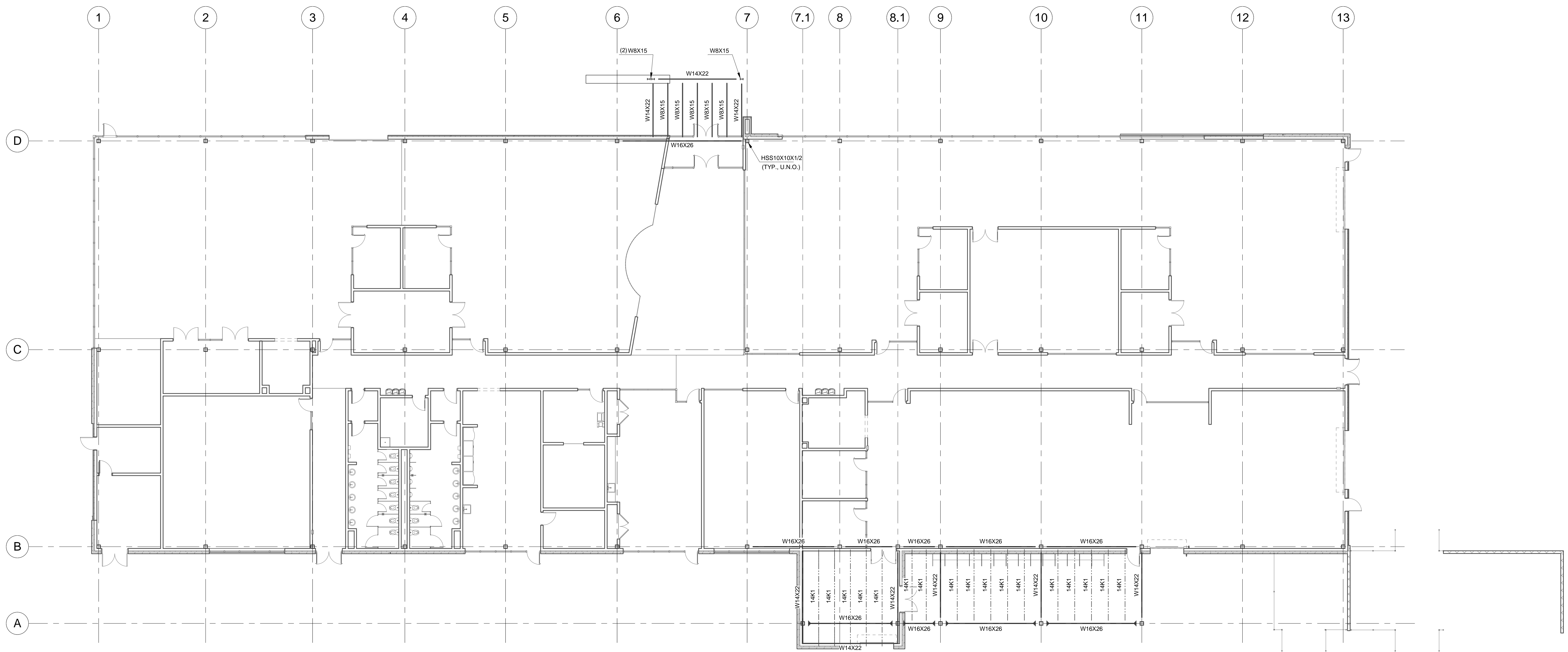
REVISIONS
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Progress Drawing
For Review
Not for Construction
06/27/2017 6:12:37 PM

CRISER TROUTMAN TANNER
CONSULTING ENGINEERS NC
3809 Peachtree Ave., Suite 102
Wilmington, NC 28403
910.397.2929 Ph.
910.397.2971 Fax
www.ctcengr.com
Firm License Number: F0113
Job No. 7948.00



HGTC
ADVANCED
MANUFACTURING
CENTER



OSE PROJECT #:
H59-6128-CA

LOW ROOF FRAMING
PLAN

DATE: Issue Date
PROJECT NO: 00000.00

REVISIONS
NO: DATE: DESCRIPTION:

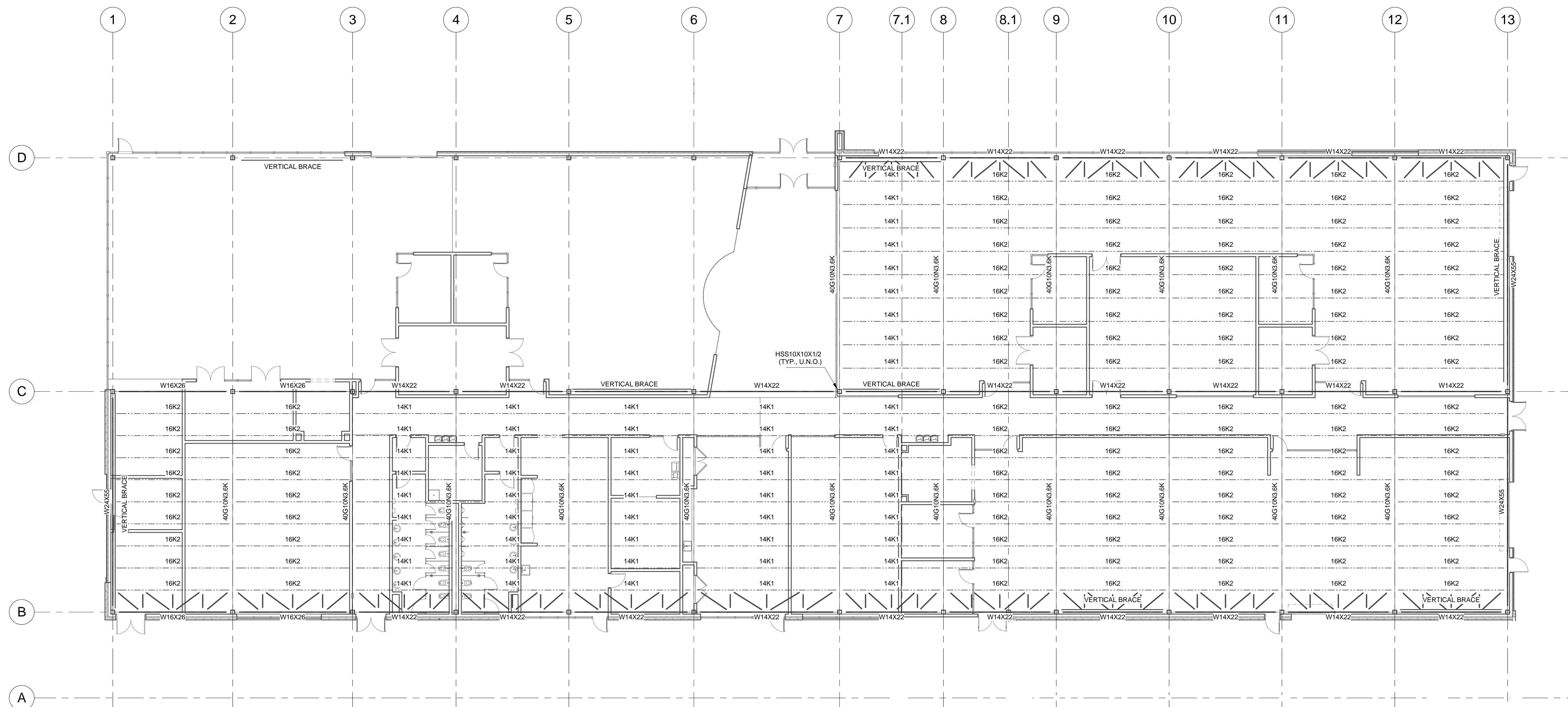
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For Review
Not for Construction
06/27/2017 6:13:25 PM

CRISER TROUTMAN TANNER
CONSULTING ENGINEERS NC
3809 Peachtree Ave., Suite 102
Wilmington, NC 28403
910.397.2929 Ph.
910.397.2971 Fax
www.cttengineering.com
Firm License Number: F0113
Job No. 7948.00

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SHEET NUMBER

S201



HGTC
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CENTER



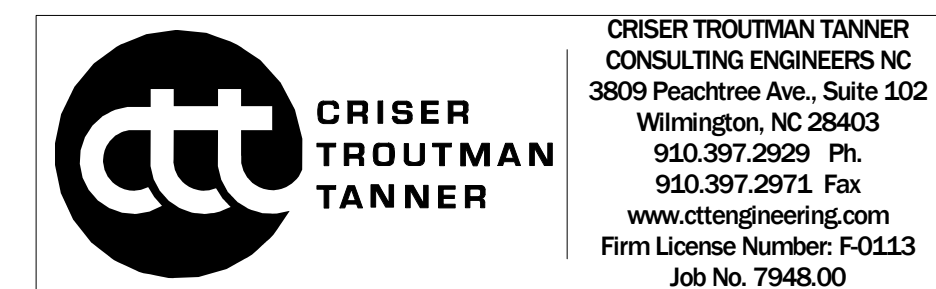
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H59-6128-CA

MAIN ROOF FRAMING

DATE: Issue Date
PROJECT NO: 00000.00

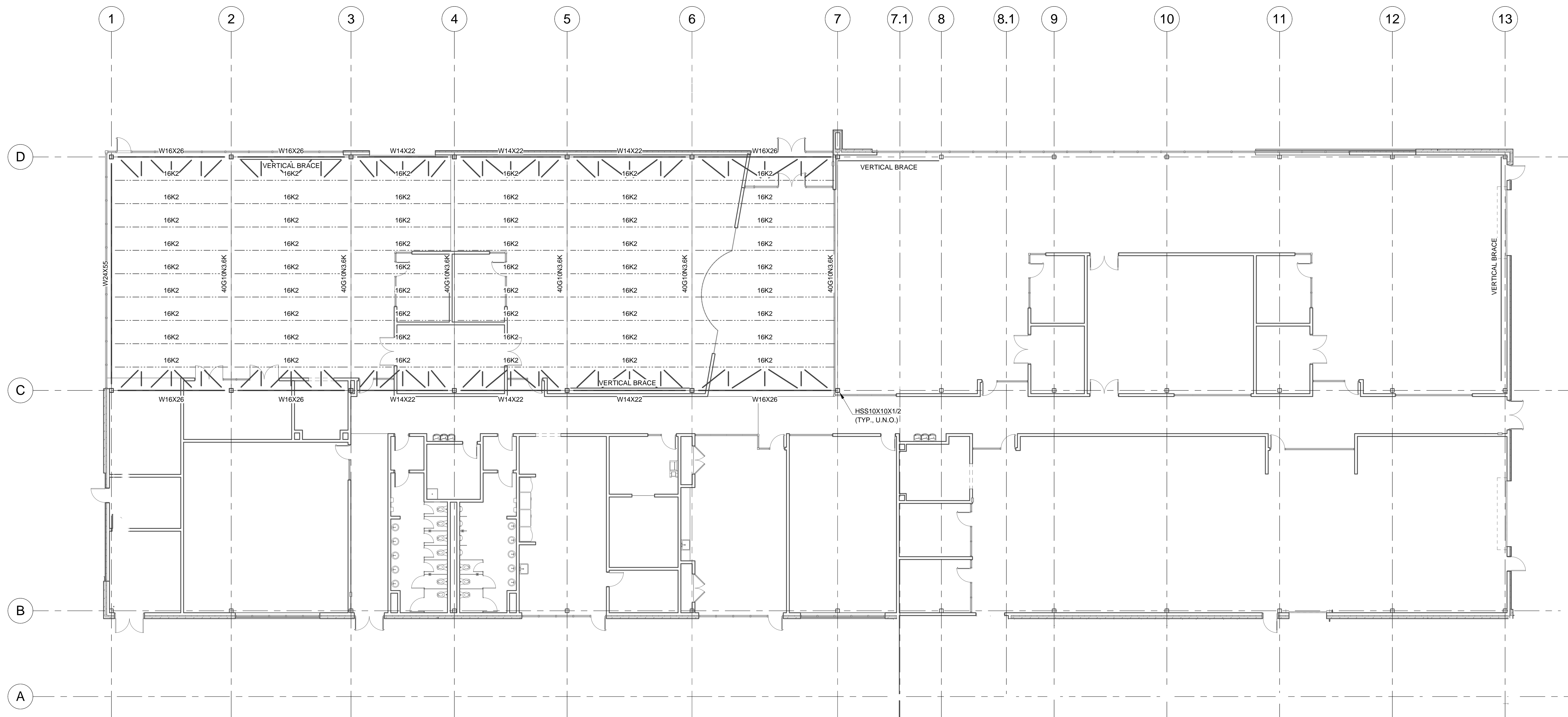
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SHEET NUMBER



HGTC
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CENTER



OSE PROJECT #:
H59-6128-CA

HIGH ROOF FRAMING
PLAN

DATE: Issue Date
PROJECT NO: 00000.00

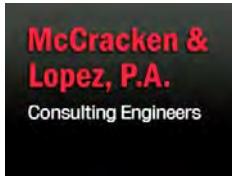
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att CRISER TROUTMAN TANNER
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910.397.2929 Ph.
910.397.2971 Fax
www.cttengineering.com
Firm License Number: F0113
Job No. 7948.00

SHEET NUMBER

S203



August 24, 2017

Mr. Phillip Steele, AIA
ADW Architects
psteele@adwarchitects.com

*Re: HGTC Georgetown Campus – 30 Year LCCA Summary
Advanced Manufacturing Center
Georgetown, South Carolina*

Phillip:

Please find attached our 30-year economic life cycle cost comparison to accompany the energy study for the building.

This comparison is based on only the cost differentials between the two models, proposed and baseline. Overall the payback for the proposed building is a nominal 3.0 years.

First cost differences are calculated as an increased first cost of approximately \$20,268:

- Roof: \$ Baseline - \$ Proposed = -\$76,060
 - Baseline - Built-up roof 4-ply system w/ gravel surface over 3 1/2" of continuous rigid polyisocyanurate foam board insulation on galvanized metal Decking. R-21; SRI=45. First Cost: \$441,148
 - Proposed: Fully adhered white fleece-back 60 mil Polyvinyl Chloride (PVC) membrane roof system over 1/4" cover board on 5" of continuous rigid polyisocyanurate foam board insulation over galvanized metal R-30; Min SRI=78. First Cost: \$365,088

- Glazing: \$ Baseline - \$ Proposed = +\$16,572
 - Baseline - 1" insulated glazing with solar control and low-e, (1/4" outboard w/ Low-E coating on #2 face, 1/2" air space, 1/4" clear glass inboard) with triple-silver magnetic sputter vacuum decomposition (MSVD) coating. PERFORMANCE: U-Val=.65 including framing ; Shad. coef=.25 Visible Transmissivity: 0.900 First Cost: \$134,948
 - Proposed - 1" insulated glazing with solar control and low-e, (1/4" outboard w/ Low-E coating on #2 face, 1/2" air space, 1/4" clear glass inboard) with triple-silver magnetic sputter vacuum decomposition (MSVD) coating. PERFORMANCE: U-Val=.45 including framing ; Shad. coef=.22 Visible Transmissivity: 0.900 First Cost: \$151,520

- Wall Assemblies: No difference in costs between proposed and baseline.

- Electrical lighting: Light wattage decrease also results in lower cost fixtures. Estimated cost reduction is \$15,212 or an estimated 10% less than the baseline.

- HVAC systems: Proposed system types are similar and the fuel sources are similar. The only difference is the efficiencies of the equipment. Based on

previous projects, the premium is nominally \$32,000 for the 5 units. We have included a replacement cost addition of \$32,000 at year 15 for comparison purposes.

Maintenance costs for the systems are generally a wash, as the PVC roof is viewed as a less expensive system to maintain given the warranty and construction. We did include an additional maintenance cost for the mechanical systems of nominally 5% annually (\$1600) of the overall cost differential.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "James L. Currie". The signature is fluid and cursive, with a large initial "J" and a long, sweeping underline.

James L. Currie, P.E.

cc: File

attachment: Trane Trace 30 year LCCA Economic Summary Report

Economic Summary

Project Information

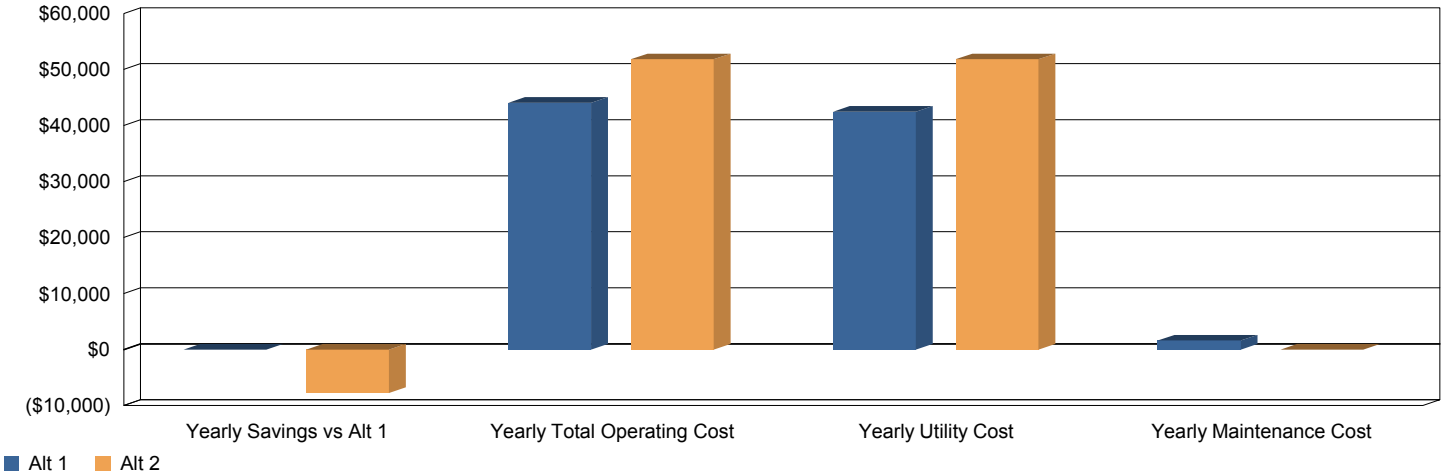
Location: Conway SC
 Project Name: HGTC ATC Building
 User: J Currie
 Company: McCracken Lopez PA
 Comments: Started July 24 2017

Study Life: 30 years
 Cost of Capital: 10 %
 Alternative 1: Proposed Rooftop Dx
 Alternative 2: ASHRAE Baseline 90.1-10 Climate Zone 3A

Economic Comparison of Alternatives

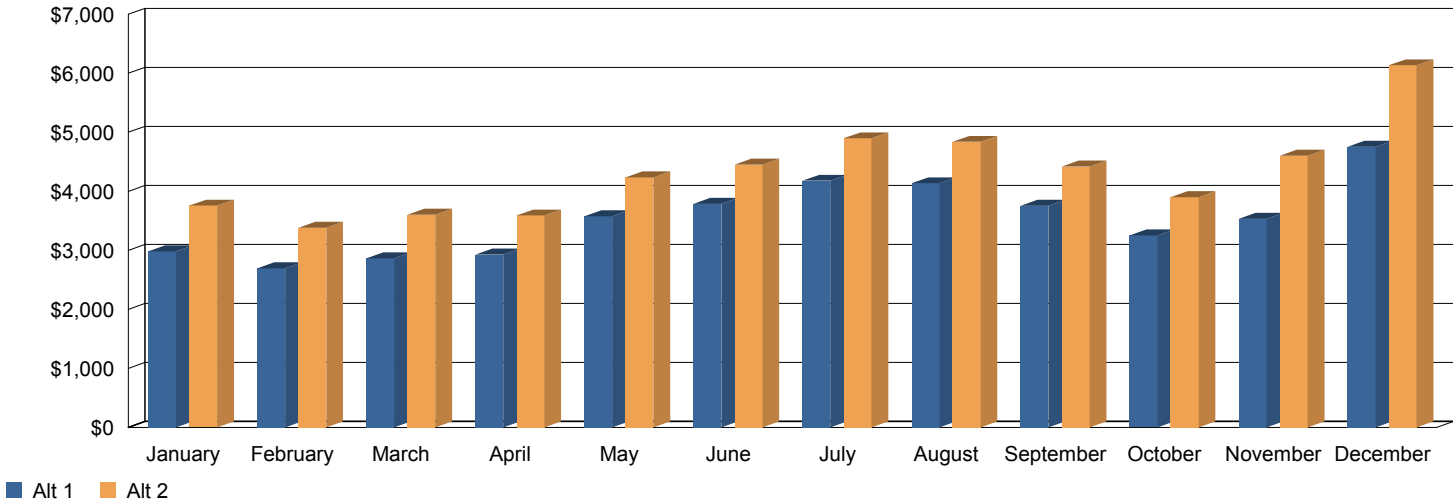
	Yearly Savings (\$)	First Cost Difference (\$)	Cumulative Cash Flow Difference (\$)	Simple Payback (yrs.)	Net Present Value (\$)	Life Cycle Payback (yrs.)	Internal Rate of Return (%)	Life Cycle Cost Difference
Alt 1 vs Alt 2	7,779	20,268	313,920	2.6	70,497	3.0	41.6	70,496.80

Annual Operating Costs



	Yearly Savings vs Alt 1	Yearly Total Operating Cost (\$)	Yearly Utility Cost (\$)	Yearly Maintenance Cost (\$)	Plant kWh/ton-hr
Alt 1	0	44,039	42,439	1,600	1.004
Alt 2	-7,779	51,817	51,817	0	1.032

Monthly Utility Costs

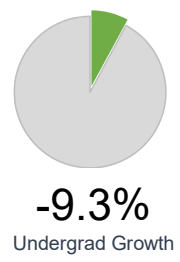
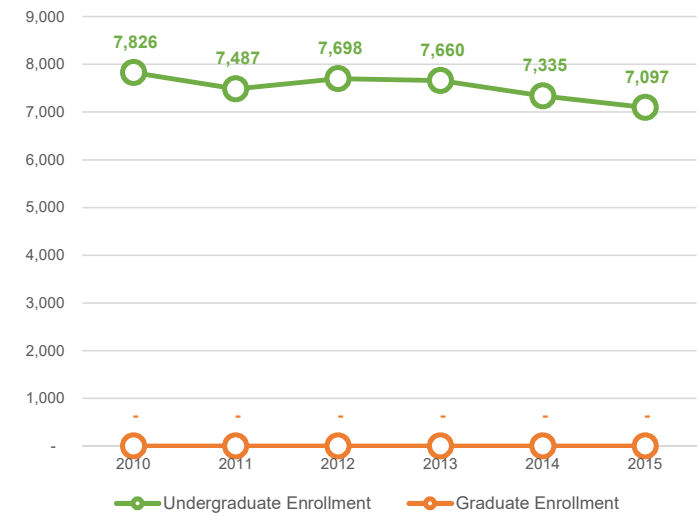


KEY INDICATOR REPORT

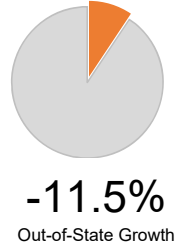
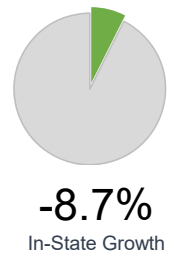
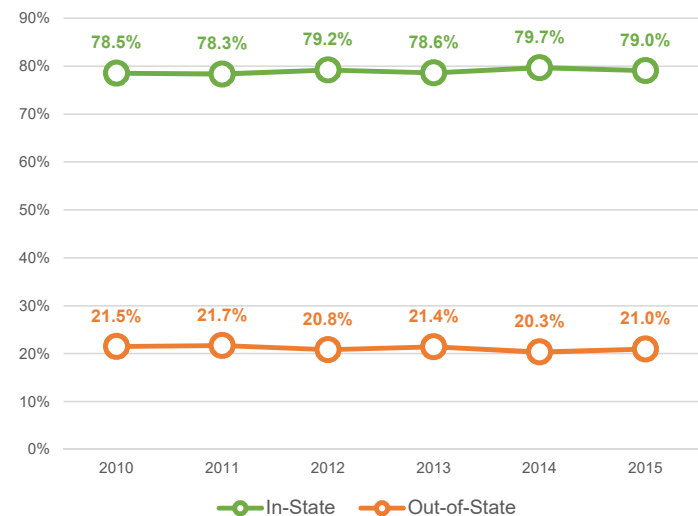
Horry-Georgetown Tech



ENROLLMENT



RESIDENCY (Undergraduate)

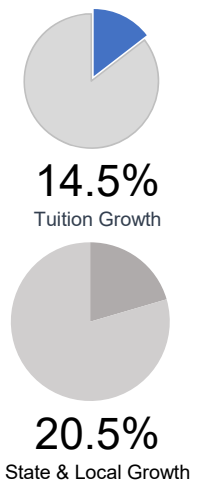
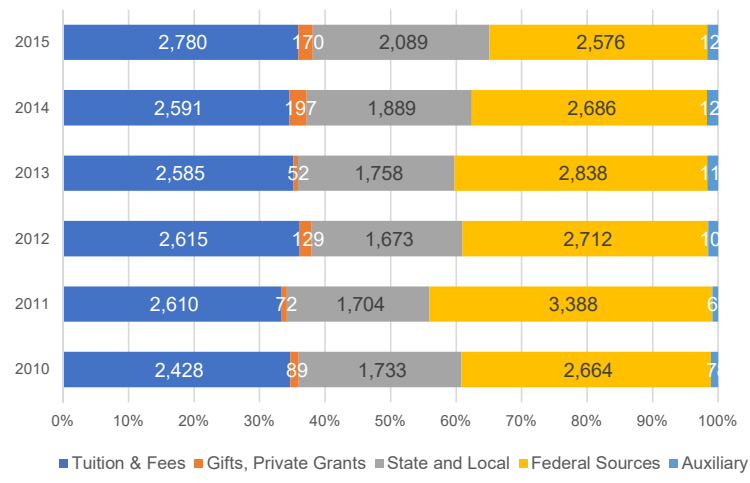


FINANCIAL INDICATOR REPORT

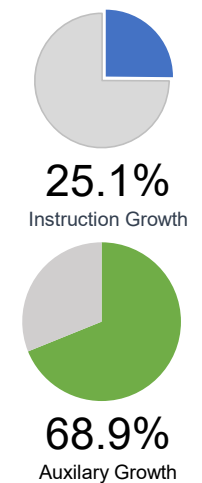
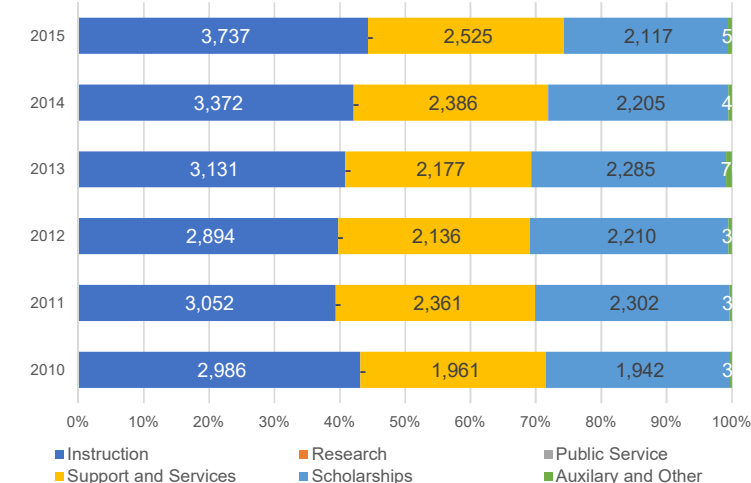


Horry-Georgetown Tech

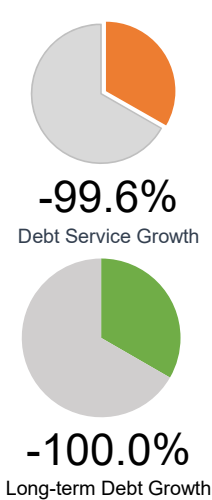
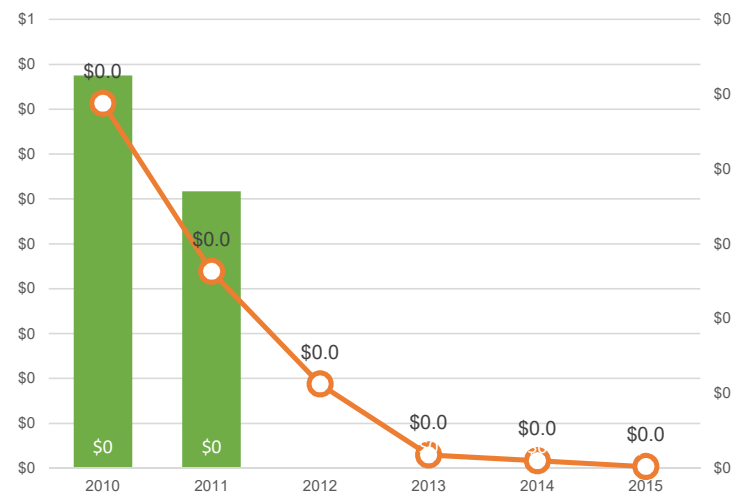
REVENUES PER STUDENT by Category (2016 dollars)



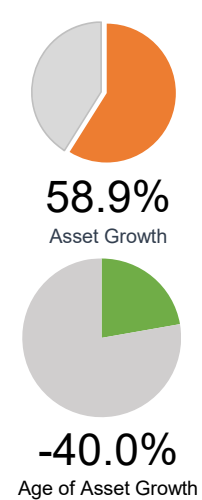
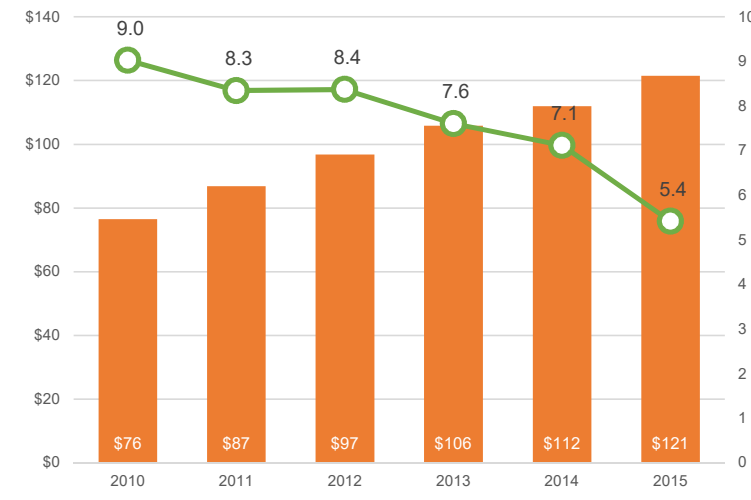
EXPENSES PER STUDENT by Category (2016 dollars)



LONG TERM DEBT vs. DEBT SERVICE (Millions)



TOTAL ASSETS (Left, Millions) vs. AVERAGE AGE OF ASSETS (Right, Years)



Sources: Financial Data, National Center for Education Statistics, IPEDS : Integrated Postsecondary Education Data System. (online: <https://nces.ed.gov/ipeds/Home/UseTheData>).

INSTRUCTIONS FOR PREPARING SUBMISSIONS 2017 COMPREHENSIVE PERMANENT IMPROVEMENT PLAN

Background

Section 2-47-55 of the S.C. Code of Laws requires all state agencies responsible for providing and maintaining physical facilities to submit a Comprehensive Permanent Improvement Plan (CPIP) to the Joint Bond Review Committee and the State Fiscal Accountability Authority (SFAA). The CPIP must include all of the agency's permanent improvement projects anticipated and proposed over the next five years beginning with the fiscal year starting July 1 after submission. The purpose of the CPIP process is to provide the committee and the authority with an outline of each agency's permanent improvement activities for the next five years. Higher education institutions, including technical colleges, must also submit the CPIP to the Commission on Higher Education in accordance with the statute. The Capital Budget Office coordinates this process on behalf of the committee and the authority.

General Guidance

The CPIP includes all permanent improvement projects projected and proposed for the years covered by the plan regardless of the sources of funds expected to finance them. Except for the first year of the plan, the CPIP includes projects for which funding is anticipated to be made by the agency from its own sources or for which funding will be requested from the General Assembly. Submissions should clearly reflect and distinguish any previously appropriated state funds from state funds that are expected to be requested from the General Assembly. Inasmuch as the CPIP is a planning document, projects expected to be funded by appropriated or authorized state funds should be included in the plan; however, the CPIP process is not the vehicle for requesting them; rather, requests for funding permanent improvements will be made in conjunction with the agency's formal budget request.

The CPIP submission should be a reasonable expectation of project proposals, especially with respect to projects dependent on state appropriated funds. The CPIP should be a reflection of agencies' reasonable assessments of its essential capital needs and not a wish list.

Submission Emphasis

Year 1: Year 1 of the 2017 CPIP is FY2017-2018 and should include only those projects and budget increases for which the agency has certainty of funding. These submissions should reflect the full project budget without regard to the Phase I (predesign) and Phase II (full design and construction) processes. Furthermore, Year 1 projects should reflect the actual source of any state appropriations (e.g., capital reserve, supplemental or direct appropriations). Existing projects should be included in Year 1 if the agency is requesting an increase in budget authorization provided funds are available to support the increase.

Years 2–5: Year 2 of the 2017 CPIP is FY2018-2019 and must be clearly described and closely harmonized with the agency's operating budget request for FY2018-2019. It is especially important that projects which are proposed to be financed by state appropriated funds be fully and clearly described for Year 2. Agencies should work closely with their management and budget staffs to ensure the CPIP submission is consistent with their capital and operating budget requests for the upcoming budget year.

Projects proposed for Years 2–5 of the plan should be reasonable, particularly if those projects involve funding from appropriations that must be authorized by the General Assembly. To that end, agencies should be prepared to identify alternative sources in the event that appropriations are not made available by the legislature. Furthermore, funding dependent on appropriations in these years

should reflect the general category “State Funds – Appropriations,” without regard to a specific source since such appropriations are the prerogative of the General Assembly.

Projects proposed for Years 3, 4 and 5, particularly where projects are in a preliminary phase of development, may simply be listed with a cost estimate and an indication of the source(s) of funds anticipated for financing the projects.

Commission on Higher Education and Division of Facilities Management and Property Services Coordination

Colleges, Universities and Technical Colleges should submit their CPIPs simultaneously to the Capital Budget Office and the Commission on Higher Education. Submissions for construction projects managed by the South Carolina Department of Administration’s Division of Facilities Management and Property Services, formerly the Division of General Services, should be coordinated with that division to avoid overlap and duplication.

Submission

Submissions and responses must be made by emailing the Capital Budget Office (CPIP@admin.sc.gov) the summary and detailed project worksheets using the provided Excel templates, without alteration. Submissions and responses by Higher Education Institutions also should be forwarded to Carrie Eberly (ceberly@che.sc.gov) with the South Carolina Commission on Higher Education’s Division of Fiscal Affairs.

The 2017 CPIP process contemplates completion by the agency of one summary worksheet reflecting the number of project worksheets to accompany the submission, and one or more project worksheets prepared for each project, the collective of which will become the agency’s submission. The Capital Budget Office will compile the separate files into a standardized reporting package for each agency.

Please submit separate Excel files for each detailed project worksheet to facilitate processing. Files may be saved and submitted using any file name that is meaningful to the agency; however, the Capital Budget Office recommends including the SCEIS Business Area/Agency Code and the Agency Reference in the file name to facilitate communication (See “Agency Reference” below).

Paper copies are not required; however, agencies should scan and email or mail a signed copy of the CPIP summary worksheet containing the agency director’s signature. To the greatest extent possible, agencies should adhere to the codes and descriptions pre-populated in the worksheets to facilitate production of a standardized, comprehensive report. These codes and descriptions have been compiled from the Manual for Planning and Execution of State Permanent Improvements and prior submissions; however, if agencies discover that the pre-populated information does not adequately address their unique situation, they should contact the Capital Budget Office for guidance and resolution. Listings of these codes and descriptions are included following these instructions.

No supplementary or supporting documentation is required for submission at this time. Further information may be requested during or following the review, prioritization and publication processes.

Preparation Instructions

As noted above, submissions and responses must be made using the provided Excel template, without alteration. The emphasis of the refined CPIP process is on data collection in a format that will facilitate a standardized reporting process while easing the burden of preparation by those agencies required making a CPIP submission. The review and evaluation processes depend on succinct but sufficient information to

promote an understanding of the request by those who will receive the report. Additional guidance follows.

CPIP Summary Worksheet

This worksheet contains the required certifications by the agency director, lists the primary and secondary contacts for the submission, and is the document to be used in submitting a negative report. It also serves as a manifest that the Capital Budget Office will use to confirm receipt of all of the project worksheets the agency submits.

In preparing the CPIP summary worksheet, please note that the agency head and chief financial officer certify that all funds available to the agency from its own sources or capabilities for financing permanent improvements have been applied to the projects proposed in the plan (such funds including bonding authority, grant funds, revenues and any other sources available). The CPIP summary worksheet also requires the agency head and chief financial officer to certify for Year 1 that the funds projected for expenditure on projects are or with reasonable certainty will be available to the agency during the year.

CPIP Project Detail Worksheet

General: A separate project detail worksheet should be prepared and submitted for each project proposed. For Higher Education Institutions, projects included should meet the definition of a permanent improvement project under Section 2-47-50 of the Code. For other agencies, projects included should meet the definition of a permanent improvement as defined in the Manual for Planning and Execution of State Permanent Improvements. Proposed land acquisition projects, regardless of amount, must be included by all agencies and institutions.

Projects included for Year 1 should not include any funding requests but should include major budget increases to existing projects. If budget increases are included in Year 1, please include the project number on the worksheet (See “Agency Reference” below). Projects included in Year 2 should correspond to the projects that the agency anticipates including in its FY2018-2019 Capital Budget request, as well as any projects for that year that will be funded with agency fund sources. If funds are to be requested in Year 2, please identify the requested source as “State Funds – Appropriations.”

Agency Information: Enter the agency or institution’s name and SCEIS business area at the top of the page.

Plan Year: Select the year of the fiscal year end during which the project is proposed.

Agency Reference: If this project submission seeks additional funding, authorization or other update to an existing project with a previously assigned SPIRS Project ID, enter the SPIRS ID. Otherwise, please choose up to a 10-digit identifier composed of numbers, characters or a combination thereof that is meaningful to the agency. This identifier will be used as a reference for future updates, resubmissions in future years and other references to the proposed project until a SPIRS or other permanent identifier is assigned by the Capital Budget Office.

Submission Type: Select a submission type for this project. If more than one category applies, choose the most descriptive type.

Project Name: Enter a brief but descriptive name of the proposal. Please specify the campus or location if the agency operates at more than one location, and the name of the facility if work on an existing facility is proposed; along with a brief description of the work to be undertaken.

Priority: Enter a priority for both the plan year and the plan overall, along with the total number of projects proposed within the plan year and within the plan overall. Please do not duplicate priority assignments within a plan year or within the plan overall; in other words, rank all projects by plan year, and then separately rank all projects for the entire plan without regard to plan year.

Project Type: Enter the project type(s) and percentage of the total project in 5 percent increments.

Facility Type: Enter the facility type(s) and percentage of the total facility in 5 percent increments.

Description, Justification and Alternatives Considered: Enter a complete but succinct paragraph explaining the proposed project and its justification. The scope of the project, such specifics as the square footage of building space to be constructed or renovated, acreage to be acquired, age of existing facilities or facility components, and an estimate of the projected total cost of the project should be included. The total projected cost should take into consideration the final expected project budget to accomplish the purposes for which the project is established. If an architecture and engineering (A&E) project is proposed, it should include the final projected cost through construction.

If a project is phased, it should include the cost of all phases. If the submission includes an adjustment in the current authorization or budget, please clearly explain the factors underlying the revision. The justification should identify the specific needs to be met by the project, how the project relates to the trends in demand on the agency, any deficiencies in the facility that will be addressed by the project, the project's interdependencies on or with other projects, if any, and the rationale and urgency of the request. Include any alternatives to the project that have been considered by the agency, including delays in implementation, leasing space or co-locating with other agencies, among others. Moreover, the submission should indicate the consequences or implications of any decision not to fund or approve the project.

Note that while the project description, justification and alternatives considered may exceed the visible limits of the worksheet, the entire paragraph will be saved in the worksheet and captured whenever the statewide report is compiled. Also note that while formatting is limited within worksheet cells, multiple paragraphs may but need not be entered. New paragraphs within a cell are accomplished by a using a key combination of Alt-Enter (or Alt-Return on some keyboards).

Estimated Project Costs: Estimates of each category of project costs should be itemized in this table, based on information available to the agency. In prior years, details for square footage of building space to be purchased, constructed or renovated; acreage of land to be purchased; costs for information technology equipment and materials; and roofing age for roofing projects were included as part of the estimated project costs section. The 2017 CPIP contemplates incorporation of these details into the project Description, Justification and Alternatives section described above, as applicable.

Fund Sources: Sources of funds proposed for the project should be itemized in this table. For Year 1 projects, funding should include only sources which are already available or expected to be available to the agency and should not include any funds which are being or will be requested from the General Assembly. For all other years, funding should include sources which are available or are expected to be available to the agency, as well as sources which may be requested from the General Assembly. In addition to identifying the committed or expected source of funds, please choose a fund status that best represents the current status of the fund source, using the following guidelines:

Initial Request status represents a fund source for which appropriation or authorization is being sought for the first time in a CPIP.

Previously Requested status represents a fund source for which appropriation or authorization has been sought in a prior year CPIP or permanent improvement project request but for which appropriation or authorization has not yet been made or approved.

Previously Approved status represents a fund source for which appropriation or authorization has been previously sought in a prior year CPIP or permanent improvement project request and for which appropriation or authorization has since been made or approved.

Fully Collected/Committed status represents a fund source sufficient to fund the project to the extent proposed.

Partially Collected/Committed status represents a fund source for which only partial funding is available and committed to the extent proposed.

Transfer Previous Authorization status represents a fund source previously appropriated or authorized for another permanent improvement project for which authorization will be sought to transfer uncommitted funds for the proposed permanent improvement project.

Annualized Operating Budget Impact: An estimate of average Annualized Operating Budget Impact must be itemized for Year 1 and Year 2 projects, including the Fund Group impacted and the period of time over which the impact is expected to occur. To the extent that estimates are available for any other plan years, they may be itemized and included but are not required.

Process Refinements

Prior year CPIP submissions included certain narrative and summary information that will not be collected in the submission process this year, including a narrative summary of the five-year plan, condition and adequacy of existing facilities and maintenance needs, approach to maintenance, plans for replacement and additions, and a general theme of the CPIP submission. While this information is important and may be included within the narrative and justification of project submissions, it will not be separately collected in this phase of the CPIP process. Moreover, certain financial summaries included in prior years will be derived and aggregated from detailed submissions and presented at the agency and other summary levels in the production of the statewide plan; accordingly, these presentations have been omitted from the data collection process as well.

While these requirements have been excluded from the process, nothing pre-empts or precludes agencies providing supplemental or additional information they deem to be integral to or instructive about their plans. If such data is provided, it will be maintained with the agency submission and made available as requested during the review and evaluation processes. Such information should be provided in electronic form to facilitate distribution and minimize the need to accommodate paper retention.

Questions and Additional Information

State agencies with questions about the CPIP process should contact Jennifer LoPresti (803-734-2264, jennifer.lopresti@admin.sc.gov) or Kim Gibson (803-737-0005, kimberly.gibson@admin.sc.gov) with the Capital Budget Office.

CODES AND DESCRIPTIONS USED IN THE DEVELOPMENT OF THE
2017 COMPREHENSIVE PERMANENT IMPROVEMENT PLAN

<u>Submission Types</u>	<u>Project Types</u>	<u>Facility Types</u>
CPIP Submission - Initial CPIP Submission - Revision CPIP Submission - Resubmission Existing Project - Funding Request Existing Project - Budget Change	Purchase Land/Building Construct Additional Facility Repair/Renovate Existing Facility/System Replace Existing Facility/System Demolish Existing Facility Site Development Environmental Architectural and Engineering Other	Office/Administration Program/Academic Agency/Institution/Campus Wide Health Care/Medical Auxiliary/Housing/Food Service/Laundry Support Services/Storage/Maintenance Athletic/Recreational Utilities/Energy Systems Parking/Roads/Site Development Land Purchase Other Not Applicable
<u>Project Costs</u>	<u>Funds Status</u>	<u>Expenditure Categories</u>
Land Purchase Building Purchase Professional Services/Fees Equipment and Materials Site Development New Construction Exterior Renovations Interior Renovations Utilities Roofing Repair and Replacement Other Permanent Improvements Landscaping Builders Risk Insurance Other Capital Outlay Labor Costs Bond Issue Costs Other Costs Contingency	Initial Request Previously Requested Previously Approved Fully Collected/Committed Partially Collected/Committed Transfer Previous Authorization	Commissions Insurance and Warranties Interest Maintenance and Repairs Office Expense Other Expenses Professional Fees Rent Salaries, Benefits and Payroll Taxes Taxes Uncategorized Utilities

<u>Fund Sources</u>	<u>Fund Sources</u>	<u>Fund Groups</u>
Debt - Capital Improvement Bonds Debt - Departmental Capital Improvement Bonds Debt - Other General Obligation Bonds Debt - Revenue Bonds Debt - State Institution Bonds Debt - Other State Funds - Appropriations State Funds - Capital Reserve Fund State Funds - Contingency Reserve Federal Funds Other Funds Other Funds - Agency Funds Designated by Legislature Other Funds - Athletic Fees Other Funds - Athletic Foundation Grants Other Funds - Athletic Gifts and Donations Other Funds - Athletic Operating Other Funds - Athletic Reserves Other Funds - Athletic Revenues Other Funds - Auxiliary Reserves Other Funds - Auxiliary Revenues Other Funds - Canteen Other Funds - Capital Projects Reserves Other Funds - Carryforwards Other Funds - Cash Reserves Other Funds - Deferred Maintenance Reserves Other Funds - Depreciation Reserve Other Funds - Disaster Relief Other Funds - Excess Debt Service	Other Funds - Foundation Donations and Contributions Other Funds - Gifts and Donations Other Funds - Grants Other Funds - Housing Reserves Other Funds - Housing Revenues Other Funds - Institutional Capital Reserves Other Funds - Institutional Non-Tuition Reserves Other Funds - Institutional Non-Tuition Revenues Other Funds - Institutional Tuition and Fee Reserves Other Funds - Institutional Tuition and Fee Revenues Other Funds - Insurance Settlements and Warranties Other Funds - Local Funds and Contributions Other Funds - Local Sales Tax Revenue Other Funds - Maintenance Reserves Other Funds - Operating Revenue Other Funds - Parking Revenues Other Funds - Patient Fees Other Funds - Private Funds and Contributions Other Funds - Renovation Reserves Other Funds - State Highway Fund Other Funds - Student Services Other Funds - Surcharges Other Funds - Transfers from Other Projects Other Funds - Trust and Retirement Funds Unidentified	General Funds - Existing General Funds - Additional Federal Funds - Existing Federal Funds - Additional Other Funds - Existing Other Funds - Additional <u>Rekurs</u> Indefinitely 1 Year/One Time 2 Years 3 Years 4 Years 5 Years >5 Years

Capital Projects Processed by Staff								
August 2017								
Date Forwarded	Project #	Institution	Project Name	Action Category	Budget Change	Revised Budget	Original Approval Date	Additional Information
Completed Projects								
8/8/2017	9820	Medical University of South Carolina	Deferred Maintenance	Decrease Budget, Close Project	(\$5,040)	\$4,872,471	10/25/2011	Expenditures confirmed in SPIRS
8/8/2017	9543	USC Upstate	Deferred Maintenance 2012	Decrease Budget, Close Project	\$26,303	\$108,158	11/2/2012	Expenditures confirmed in SPIRS
8/8/2017	9546	USC Upstate	2015-16 Maintenance Needs	Increase Budget, Revise Scope	\$26,303	\$1,256,866	1/15/2016	Grandfathered: Add two items within project's purpose. Parts of the original scope were completed under budget, allowing the University to address more deferred maintenance with minimal increase.
8/8/2017	9924	Clemson University	Main Campus Electrical Infrastructure Maintenance Improvements	Close Project	\$0	\$1,118,674	1/29/2015	Expenditures confirmed in SPIRS
8/18/2017	9923	Greenville Technical College	Greenville-Barton Campus Elevator Upgrades	Close Project	\$0	\$171,999	6/9/2005	Expenditures confirmed in SPIRS
8/18/2017	6129	Piedmont Technical College	Moss Property Donation	Decrease Budget, Close Project	(\$15,729)	\$4,271	2/1/2017	Expenditures confirmed in SPIRS